

IONIA COUNTY ADMINISTRATION BUILDING

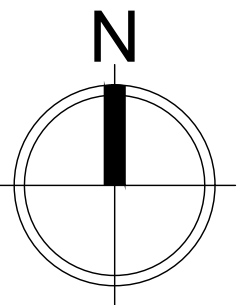
FACADE RESTORATION PHASE 1

Ionia, Michigan



PROJECT LOCATION

SITE ADDRESS: 101 W Main St, Ionia MI 48846



PROJECT SUMMARY:

This package consists of isolated exterior masonry repairs on the East, North, and South building facades, including brick, sandstone, limestone, and granite replacement, patching, and mortar repointing. EIFS infill of a former door opening is to be repaired or replaced on the East facade. Non-historic hollow metal doors are to be replaced on the lower level of the North facade. Comprehensive restoration and reconstruction of common brick is to be performed on portions of the West facade, followed by paint stripping, repainting, and/or staining of the repaired masonry.

All construction-related parking, storage, and staging is to be contained onsite in the south parking lot. Access to be West facade will be performed via the private shared-access service drive. The public ROW, including parking and sidewalks will remain open during the course of construction. All building entrances and exits will remain open during the course of construction. Building entrances and the sidewalk will be protected by overhead protection (walk-through scaffolding) whenever upper wall facade work is in progress.

The facade restoration will not impact building use, construction type, occupancy, fire protection, or egress.

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Restore Consulting, LLC
313.737.8673
www.restoreces.com



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Facade Restoration - Phase 1
101 W Main St
Ionia, Michigan 48846

Issued For: Bidding & Construction

Date: 7/21/2026

No.	Date	Revision Description

Drawn by: EBW / MDR

Designed by: MDR

Project # 2025-1332

SHEET NAME
Title Sheet

SHEET NO.
T1.1

DRAWINGS SHALL NOT BE REPRODUCED WITHOUT WRITTEN
CONSENT FROM RESTORE CONSULTING, LLC.

DESIGN INTENT

THE INTENT OF THE RESTORATION DOCUMENTS IS TO DESCRIBE THE NECESSARY REPAIRS TO PROVIDE SAFE, CODE-COMPLIANT EXTERIOR MASONRY WALL ASSEMBLIES WHICH CONSISTENTLY AND EFFECTIVELY SHED AND DRAIN WATER AND PROTECT THE BUILDING MATERIALS FROM PREMATURE DETERIORATION WHICH WOULD LESSEN THEIR EXPECTED USEFUL LIFE OR ENDANGER THE PUBLIC. REPAIR METHODS SHOULD BE PERFORMED SUCH THAT REPAIRS ARE VISUALLY INCONSPICUOUS AND HARMONIOUS WITH THE EXISTING HISTORIC BUILDING CHARACTER AND APPEARANCE. AESTHETIC AND MATERIAL EXPECTATIONS SHOULD REMAIN CONSISTENT WITH A HIGH-QUALITY, WELL-PRESERVED HISTORIC PUBLIC BUILDING.

GENERAL NOTES

1. OBTAIN ALL PERMITS REQUIRED BY LOCAL JURISDICTIONS. COSTS OF PERMITTING, IF REQUIRED BY AHJ, ARE INCLUDED.
2. SITE WORK IS ALLOWED BETWEEN THE HOURS OF 6AM AND 6PM, MONDAY TO SATURDAY. NOISE GENERATING WORK IS ALLOWED BETWEEN 7 AM AND 6 PM, OR AS PERMITTED BY LOCAL LAW. RADIO OR BROADCAST MEDIA IS NOT PERMITTED AT ANY TIME.
3. COORDINATE WITH COUNTY FACILITIES DIRECTOR RELATIVE TO UPCOMING WORK SEQUENCE AND ANY ANTICIPATED IMPACT ON THE OPERATION OF THE FACILITY.
4. OVERHEAD PROTECTION TO BE INSTALLED IN ALL WORK AREAS NEAR OR ABOVE BUILDING ENTRANCES OR THE PUBLIC WAY AS NECESSARY TO PROTECT PEDESTRIANS AND VEHICLES. OVERHEAD PROTECTION MUST INCLUDE REASONABLE MEANS TO CONTROL ALL FALLING DEBRIS, INCLUDING DUST.
5. PROVIDE REASONABLE ACCESS TO THE ENGINEER AND/OR COUNTY PERSONNEL TO REVIEW WORK BY REQUEST.
6. REPORT ANY DISCREPANCIES OR CONFLICTS BETWEEN THESE REPAIR PLANS AND ACTUAL ON-SITE CONDITIONS IMMEDIATELY TO ENGINEER PRIOR TO PROCEEDING WITH WORK.
7. DIMENSIONS AND QUANTITIES OF EXISTING BUILT CONDITIONS PROVIDED ON THE DRAWINGS ARE APPROXIMATE AND THE ENGINEER/OWNER TAKE NO RESPONSIBILITY FOR THE ACCURACY OF AS-BUILT DOCUMENTATION. THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS NEEDED FOR LAYOUT, MATERIAL PROCUREMENT, OR TO PROPERLY PERFORM THE WORK PRIOR TO THE BEGINNING OF THE WORK. DO NOT SCALE THE DRAWINGS.
8. LOCATIONS AND QUANTITIES OF REPAIR ITEMS SHOWN ON THE DRAWINGS ARE APPROXIMATE. UNIT REPAIR ITEMS ARE PROVIDED FOR QUANTITIES THAT MAY VARY.
9. PROVIDE SUBMITTALS FOR ALL MATERIALS AND COLOR SAMPLES FOR ALL WORK ITEMS. THESE ARE TO BE SUBMITTED OR COMPLETED FOR APPROVAL BY THE ENGINEER. WRITTEN APPROVAL OF ENGINEER MUST BE RECEIVED PRIOR TO DEVIATING FROM ANY OF THE DETAILING, MATERIALS, SCOPE, ETC. SHOWN ON THESE DOCUMENTS.
10. PROVIDE MOCKUP SAMPLES OF ALL MATERIALS AND ASSEMBLY DETAILS INDICATED ON THE DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
11. CONTRACTOR IS SOLELY RESPONSIBLE FOR PROJECT MEANS, METHODS AND JOB-SITE SAFETY. ENGINEER'S SITE VISITS DO NOT INVOLVE REVIEWING JOB-SITE SAFETY. CONTRACTOR SHALL PERFORM WORK IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL HEALTH & SAFETY STANDARDS, LAWS AND REGULATIONS.
12. ENGINEER WILL NOT DIRECT CONTRACTOR'S SITE PERSONNEL OR SUBCONTRACTORS.
13. CONTAIN ALL DUST, DEBRIS AND MATERIALS IN WORK AREA. THE WORK AREA AND ADJACENT PUBLIC WAY ARE TO BE REGULARLY INSPECTED FOR DEBRIS DURING THE WORKDAY AND SWEEPED CLEAN DAILY.
14. REMOVE AND IMMEDIATELY DISPOSE OF ALL EXISTING MATERIALS NOT BEING SALVAGED.
15. DUMPSITES, MATERIAL LAY DOWN SPACE, AND CONTRACTOR PARKING TO BE PLACED IN A DEDICATED LOCATION ONSITE IN COORDINATION WITH THE COUNTY FACILITIES DIRECTOR.
16. RESTROOM FACILITIES IN THE BUILDING ARE NOT TO BE USED BY CONSTRUCTION PERSONNEL. REGULARLY MAINTAINED PORTABLE TOILETS ARE TO BE PROVIDED BY THE CONTRACTOR. COORDINATE LOCATION WITH THE COUNTY FACILITIES DIRECTOR.
17. REPORT ANY STRUCTURAL DETERIORATION TO ENGINEER IMMEDIATELY.
18. CONTRACTOR IS SOLELY RESPONSIBLE FOR TEMPORARY SHORING AND BRACING AS NEEDED TO SAFELY PERFORM THE WORK OR MAINTAIN THE STABILITY OF THE STRUCTURE.
19. INSTALLATION OF MATERIALS SHALL BE IN GENERAL ACCORDANCE WITH THE MANUFACTURERS' WRITTEN INSTRUCTIONS AND INFORMATION CONTAINED WITHIN THESE DOCUMENTS.
20. PROTECT EXISTING WINDOWS FROM DAMAGE DURING CONSTRUCTION. IF ANY WINDOWS ARE TO BE FULLY COVERED, CONTRACTOR MUST NOTIFY THE COUNTY FACILITIES DIRECTOR IN ADVANCE AND PROVIDE A REASONABLE ESTIMATE FOR THE LENGTH OF TIME WINDOWS ARE TO BE COVERED.
21. PROTECT THE BUILDING AND PROPERTY FROM INTRUSION OF DEBRIS, WIND, WEATHER, AND ANIMALS DURING THE ENTIRE COURSE OF DEMOLITION AND RESTORATION. TEMPORARY OPENINGS AND WORK IN PROGRESS MUST BE REASONABLY COVERED AND SECURED TO SHED WATER FOR DISCHARGE AT A SAFE DISTANCE, AND TO DISCOURAGE UNAUTHORIZED ACCESS.
22. REMOVAL AND REINSTALLATION OF FLASHING, DOWNSPOUTS, GUTTERS, LIGHT FIXTURES, CONDUIT, ETC. AS REQUIRED TO ACCESS AND PERFORM THE WORK IS INCLUDED.
23. PROTECT EXISTING HARDSCAPING AND LANDSCAPING DURING CONSTRUCTION AND ACCESS. ANY DAMAGE CAUSED BY CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST.
24. AT THE CONCLUSION OF CONSTRUCTION, THE PROJECT BUILDING ROOF, FACADE, ENTRIES AND WINDOWS, AS WELL AS ADJACENT BUILDINGS, SIDEWALK, AND PUBLIC WAY MUST BE FULLY CLEANED OF ANY CONSTRUCTION MATERIALS, DUST, STAINING, OR DEBRIS.
25. PROVIDE ITEMIZED REPAIR QUANTITIES AND AS-BUILT DIAGRAMS ON THE ELEVATION DRAWINGS AS A RECORD OF ACTUAL PERFORMED REPAIRS AND LOCATIONS AND SUBMIT WITH EACH APPLICATION FOR PAYMENT.
26. ACCESS TO BUILDING ENTRANCES TO BE MAINTAINED DURING REPAIRS FOR EGRESS UNLESS APPROVAL IS RECEIVED IN ADVANCE FROM FIRE MARSHAL AND THE COUNTY.
27. SMOKING AND VAPING OF ANY KIND ARE EXPRESSLY PROHIBITED ON THE SITE AT ALL TIMES.

GRANITE MASONRY

1. MORTAR: PORTLAND CEMENT/LIME MORTAR, TYPE S. PORTLAND CEMENT: TYPE 1, ASTM C150, NON-STAINING WHITE. HYDRATED MASONS LIME: ASTM C207, TYPE S. NEW MORTAR TO MATCH EXISTING MORTAR IN APPEARANCE, TOOLING, COLOR AND TEXTURE. AGGREGATE: ASTM C144, CLEAN, SHARP FREE OF LOAM, SILT, SOLUBLE SALTS AND ORGANIC MATTER. SELECT AGGREGATE AND PIGMENT TO MATCH THE FINAL MORTAR COLOR OF THE COLOR OF THE ORIGINAL MORTAR. SAND SHOULD CONTAIN A FULL RANGE OF SIZES FROM COARSE TO FINE. WATER: CLEAN AND FREE OF DELETERIOUS AMOUNTS OF OIL, ACID, ALKALIS AND ORGANIC MATTER. PROVIDE SAMPLES OF ALL MORTAR.
2. NEW AND REPLACEMENT GRANITE STONES MUST BE DRESSED ON ALL SIDES AND ROCK-FACED TO MATCH EXISTING.
3. STRUCTURAL ANCHORING: ALL NECESSARY ANCHORS, HANGERS, BOLTS, STRAPS, DOWELS AND PINS FOR SAFE AND COMPLETE SANDSTONE ANCHORAGE TO BE FURNISHED AND INSTALLED BY CONTRACTOR. ALL NEW ANCHORAGE TO BE OF ASTM A167, TYPE 304 STAINLESS STEEL. CONTRACTOR IS RESPONSIBLE FOR MASONRY ANCHORAGE DESIGN, IN COORDINATION WITH STONE MANUFACTURER'S RECOMMENDATIONS.
4. ADHESIVES FOR STONE ANCHORS AND PINS: ASTM C881, TYPES I, II, IV AND V, GRADE, HIGH MODULUS, HIGH STRENGTH, MOISTURE INSENSITIVE, HIGH VISCOSITY EPOXY ADHESIVE, SIKA SIKADUR 31, HI-MOD GEL OR APPROVED EQUAL.

BRICK AND LIMESTONE MASONRY

1. DESIGN & CONSTRUCTION SHALL BE IN ACCORDANCE WITH TMS 402/602 - BUILDING CODE REQUIREMENTS FOR AND SPECIFICATION FOR MASONRY STRUCTURES.
2. MORTAR: PORTLAND CEMENT/LIME MORTAR, TYPE N. PORTLAND CEMENT: TYPE 1, ASTM C150, NON-STAINING WHITE. HYDRATED MASONS LIME: ASTM C207, TYPE S. NEW MORTAR TO MATCH EXISTING MORTAR IN APPEARANCE, TOOLING, COLOR AND TEXTURE. AGGREGATE: ASTM C144, CLEAN, SHARP FREE OF LOAM, SILT, SOLUBLE SALTS AND ORGANIC MATTER. SELECT AGGREGATE AND PIGMENT TO MATCH THE FINAL MORTAR COLOR OF THE COLOR OF THE ORIGINAL MORTAR. SAND SHOULD CONTAIN A FULL RANGE OF SIZES FROM COARSE TO FINE. WATER: CLEAN AND FREE OF DELETERIOUS AMOUNTS OF OIL, ACID, ALKALIS AND ORGANIC MATTER. PROVIDE SAMPLES OF ALL MORTAR.
3. NEW AND REPLACEMENT BRICK TO MATCH EXISTING IN DIMENSION, COLOR, TEXTURE, AND SHEEN.
4. PROVIDE MIN. (2) SAMPLES OF REPLACEMENT BRICK FOR ARCHITECT APPROVAL.
5. IF MATCH REPLACEMENT BRICK CANNOT BE SOURCED, REPLACEMENT UNITS ARE TO BE LAID TO PRESERVE EXISTING MORTAR JOINT DIMENSIONS. BRICK FACES TO BE STAINED TO MATCH.
6. IF IN SALVAGEABLE CONDITION, RESERVE AND FULLY CLEAN ANY AVAILABLE FACING BRICK FROM AREAS OF DEMOLITION. TIGHTLY PALLETIZE AND DELIVER UNUSED BRICK TO OWNER.
7. HORIZONTAL JOINT REINFORCEMENT FOR MULTI-WYTHE BRICK: LADDER STYLE JOINT REINFORCEMENT IN ACCORDANCE WITH ASTM A 951. JOINT REINFORCEMENT SHALL BE HOT-DIPPED GALVANIZED (ASTM A153). SPACING 16" MAXIMUM. LAP 6" MINIMUM. COVER FOR JOINT REINFORCEMENT SHALL BE 5/8" MINIMUM.
8. BRICK TIES: GALV. CORRUGATED STRAPS MIN. 24" O.C. HORIZONTAL, 20" O.C. VERTICAL.

GENERAL MASONRY REPOINTING

1. JOINT RAKING: CUT OUT MORTAR FROM DETERIORATED OR REPLACEMENT JOINTS TO A DEPTH EQUAL TO 2 TIMES THEIR WHOLE WIDTH BUT NOT LESS THAN $\frac{3}{8}$ " NOR LESS THAN REQUIRED TO EXPOSE SOUND, UNWEATHERED MORTAR. TAKE EXTREME CARE TO NOT DAMAGE MASONRY UNITS OR WIDEN JOINTS. RINSE MASONRY JOINT SURFACES WITH WATER TO REMOVE ANY DUST AND MORTAR DEBRIS. TIME APPLICATION OF RINSING SO THAT, AT TIME OF POINTING, EXCESS WATER HAS EVAPORATED OR RUN OFF, AND JOINT SURFACES ARE DAMP BUT FREE OF STANDING WATER.
2. JOINT POINTING: APPLY FIRST LAYER OF JOINTING MORTAR TO AREAS WHERE EXISTING MORTAR WAS REMOVED TO DEPTH GREATER THAN SURROUNDING AREAS. APPLY IN LAYERS NOT GREATER THAN $\frac{3}{8}$ " UNTIL A UNIFORM DEPTH IS FORMED. COMPACT EACH LAYER THOROUGHLY WITH A TROWEL AND ALLOW TO BECOME THUMB-PRINT HARD BEFORE APPLYING NEXT LAYER. DO NOT USE GROUT BAGS.TAKE CARE NOT TO SPREAD MORTAR OVER EDGES ONTO EXPOSED MASONRY SURFACES, OR TO FEATHER EDGE MORTAR. WHEN MORTAR IS THUMBPRINT HARD, TOOL TO MATCH ORIGINAL APPEARANCE OF JOINTS. REMOVE EXCESS MORTAR FROM EDGE OF JOINT BY GENTLY BRUSHING. CURE MORTAR BY MAINTAINING IN A DAMP CONDITION FOR NOT LESS THAN 72 HOURS. AFTER MORTAR HAS FULLY HARDENED, THOROUGHLY CLEAN EXPOSED MASONRY SURFACES OF EXCESS MORTAR AND FOREIGN MATTER USING STIFF NYLON OR BRISTLE BRUSHED AND CLEAN WATER, SPRAY APPLIED AT LOW PRESSURE.
3. INSTALL MIN. (2) SAMPLES OF ALL REPLACEMENT MORTARS (MIN. (1) SQ FT EACH) FOR ARCHITECT APPROVAL.

SANDSTONE

1. MORTAR FOR FOR SANDSTONE: NATURAL HYDRAULIC LIME 3.5 (NHL 3.5) OR POZZOLAN HYDRAULIC LIME 3.5 (PHL 3.5). COLOR, TEXTURE, AGGREGATE, AND JOINT FINISH PROFILE SHALL MATCH EXISTING
2. SANDSTONE REPAIR:
 - A. REMOVE SMALL STONE SPALLS OR DELAMINATION WITH GENTLEST MEANS POSSIBLE (STIFF BRUSH OR SAND PAPER) UNTIL FINDING SOUND STONE.
 - B. REPAIR SPALLS IN EXISTING SANDSTONE WITH JAHN M70 NATURAL STONE REPAIR MORTAR PIGMENTED TO MATCH EXISTING. REMOVE ALL DETERIORATED MATERIAL UNTIL A STABLE, HEALTHY SUBSTRATE IS REACHED. SQUARE OFF ALL PATCH AREAS. MIX STONE PATCHING MORTAR IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTION. INSTALL REPAIR MORTAR IN LIFTS AND IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MIN. (1) TEST AREA PER UNIQUE SANDSTONE FACE TEXTURE SHALL BE COMPLETED FOR ARCHITECT REVIEW PRIOR TO COMPLETING REPAIR TO ALL WORK AREAS.
3. CARE MUST BE TAKEN WHEN CUTTING OUT DECAYED STONE, REINSTALLING NEW STONE, AND REPOINTING TO AVOID DAMAGING SURVIVING STONE.
4. REPOINTING WITH NHL AND PHL MORTARS:
 - A. JOINT RAKING: CUT OUT MORTAR FROM DETERIORATED OR REPLACEMENT JOINTS TO A DEPTH EQUAL TO 2 TIMES THEIR WHOLE WIDTH BUT NOT LESS THAN 3/4" NOR LESS THAN REQUIRED TO EXPOSE SOUND, UNWEATHERED MORTAR. TAKE EXTREME CARE TO NOT DAMAGE MASONRY UNITS OR WIDEN JOINTS. RINSE MASONRY JOINT SURFACES WITH WATER TO REMOVE ANY DUST AND MORTAR PARTICLES.
 - B. PREPARATION: PRE-WET THE WALL WITH COPIOUS AMOUNTS OF WATER. THE MASONRY UNITS AND SURROUNDING WALL MATERIALS MUST BE SATURATED. PROTECT THE WORK AREA FROM HIGH WINDS, DIRECT SUNLIGHT AND/OR HEAT BY TENTING THE AREA WITH DAMPENED BURLAP SHEETS.
 - C. MIXING: MIX THE LIME MORTAR FOR 5 MINUTES, ALLOW TO REST FOR 3 MINUTES AND RE-MIX FOR ANOTHER 3 MINUTES. ADD WATER SLOWLY WHILE MIXING. THE FINAL CONSISTENCY OF THE MORTAR

- SHOULD BE SIMILAR TO THAT OF BROWN SUGAR. THE MORTAR TEXTURE SHOULD BE MALLEABLE BUT SHOULD SLIGHTLY CRUMBLE WHEN COMPACTED AND HAVE NO SLUMP.
- D. POINTING: THOROUGHLY COMPACT MORTAR IN A SINGLE LAYER WITH POINTING TROWELS. DO NOT OVER-COMPACT. DO NOT USE MORTAR GUNS OR GROUT BAGS. TAKE CARE NOT TO SPREAD MORTAR OVER EDGES ONTO EXPOSED MASONRY SURFACES, OR TO FEATHER EDGE MORTAR. WHEN MORTAR IS THUMBPRINT HARD, TOOL TO MATCH ORIGINAL APPEARANCE OF JOINTS. PREPARE AN AREA OF FINISHED JOINTS MIN. (4) SQ FT FOR ARCHITECT REVIEW PRIOR TO COMPLETING REPAIR TO ALL WORK AREAS.
 - E. CURING: LIME MORTAR MUST CARBONATE IN A MOIST ENVIRONMENT FOR A MIN. OF 96 HOURS. PROTECT THE WORK AREA FROM HIGH WINDS, DIRECT SUNLIGHT AND/OR HEAT BY TENTING THE AREA WITH DAMPENED BURLAP SHEETS. FREQUENTLY MIST THE WORK AREA WITH CLEAN WATER. DO NOT ALLOW TO PREMATURELY DRY OUT.
 - F. CLEANING: REMOVE EXCESS MORTAR FROM EDGE OF JOINT BY BRUSHING. AFTER MORTAR HAS ACHIEVED ITS INITIAL SET (24-48 HOURS AFTER APPLICATION) EXCESS MORTAR SHALL BE THOROUGHLY CLEANED USING STIFF NYLON OR BRISTLE BRUSHES AND CLEAN WATER. DO NOT USE POWER SPRAYERS. DO NOT USE MASONRY DETERGENTS OF ANY KIND.

SEALANTS

1. INSTALL JOINT SEALANTS AT REPAIR AREAS TO MATCH EXISTING.
2. INSTALL NEW JOINT SEALANT AT ALL AREAS INDICATED ON DRAWINGS.
3. REMOVE & REPLACE JOINT SEALANTS AT INDICATED ON THE DRAWINGS.
4. SILICONE SEALANT TO BE INSTALLED IN ALL SKYWARD FACING MASONRY JOINTS.
5. USE SILICONE SEALANT FOR MASONRY. ACCEPTABLE SILICONE JOINT SEALANTS ARE:
 - B. DOW: DOWSIL 790 OR 795
 - C. SIKA: SIKASIL WS-290 OR WS-295
7. GRIND ALL BONDING SURFACES TO REMOVE ALL EXISTING SEALANT, MASONRY LAITANCE AND CONTAMINANTS.
8. USE BACKER ROD IN BUTT AND OPEN JOINTS.
9. USE OF PRIMER REQUIRED.
- 10.INSTALL LEAD T-CAPS IN STRICT ACCORDANCE TO MANUFACTURER'S WRITTEN INSTRUCTIONS,

PAINT

1. METALS: CLEAN & PAINT ALL EXPOSED EXISTING STEEL TO REMAIN (BEAMS, COLUMNS, ANGLES, ETC.).
 - A. ALL EXPOSED STEEL SURFACES SHALL BE CLEANED AND PREPPED IN ACCORDANCE WITH SSPC-SP 6 PRIOR TO PAINTING.
 - B. PAINT SYSTEM SHALL CONSIST OF PRIMER, INTERMEDIATE COAT AND A FINISH COAT.
 - C. APPLY PRIMER WITHIN 8 HOURS OF ABRASIVE BLASTING.
 - D. ACCEPTABLE PAINT SYSTEMS FOR METAL SURFACES ARE:
 - a. PRIMER (AT ALL BARE STEEL SURFACES): 1 COAT SHERWIN WILLIAMS ZINC CLAD IV AT 4 DRY MILS
 - b. INTERMEDIATE COAT: 1 COAT SHERWIN WILLIAMS MACROPOXY 646 AT 7 DRY MILS. COLOR BY OWNER
 - FINISH COAT: 1 COAT SHERWIN WILLIAMS HI-SOLIDS POLYURETHANE 250 AT 4 DRY MILS.COLOR BY OWNER
2. MASONRY: PAINT WEST WALL MASONRY SURFACES FOLLOWING COMPLETE REPAIR, CURING AND CLEANING
 - A. PERFORM SURFACE PREPARATION IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
 - B. REMOVE ALL PEELING OR FLAKING PAINT. CLEAN ALL SURFACES WITH MILD DETERGENT.
 - C. ACCEPTABLE CLEANING PRODUCTS ARE:
 - a. 2010 ALL SURFACE CLEANER BY PROSOCO.
 - E. AFTER GENERAL CLEANING, IF HEAVY STAINS OR BIOLOGICAL / ATMOSPHERIC GROWTH REMAINS CLEAN AREAS WITH REVIVE BY PROSOCO. COMPLETE SMALL TRIAL AREA OF CLEANING FOR ARCHITECT APPROVAL. LET SURFACE DRY 3-7 DAYS BEFORE INSPECTION AND APPROVAL. USE PER MANUFACTURER'S DIRECTIONS.INSTALL PAINT SYSTEM IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTALLATION INSTRUCTIONS
 - F. ACCEPTABLE PAINT SYSTEMS FOR MASONRY SURFACES ARE: 2 COATS SHERWIN WILLIAMS SUPERPAINT EXTERIOR LATEX. COLOR BY OWNER
3. PAINT STRIPPER: PROSOCO ENVIRO KLEAN SAFSTRIP OR APPROVED ALTERNATE. INSTALL, CLEAN, AND NEUTRALIZE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. ALL PAINTING AND STRIPPING TO BE PERFORMED PER STATE OF MICHIGAN LEAD-SAFE REQUIREMENTS.

MASONRY STAIN

1. GENTLY CLEAN ALL STONE AREAS PRIOR TO STAINING. ACCEPTABLE CLEANING PRODUCTS: 2010 ALL SURFACE CLEANER BY PROSOCO. AFTER GENERAL CLEANING, IF HEAVY STAINS OR BIOLOGICAL/ATMOSPHERIC GROWTH REMAINS CLEAN AREAS WITH REVIVE BY PROSOCO. COMPLETE SMALL TRIAL AREA OF CLEANING FOR ENGINEER/APPROVAL. LET SURFACE DRY 3-7 DAYS BEFORE INSPECTION AND APPROVAL. USE PER MANUFACTURER'S DIRECTIONS.
2. AFTER CLEANING ALL STONE SURFACES, STAIN ALL NEW STONE AREAS TO APPEAR VISUALLY HARMONIOUS WITH THE EXISTING STONE. USE SILICATE PIGMENTED VAPOR PERMEABLE MINERAL STAIN. ACCEPTABLE PRODUCTS: RESTAURO STAIN BY KEIM, NAWTONE K BY NAWKAW. COMPLETE MIN. (2) SMALL TRIAL AREAS FOR ARCHITECT'S APPROVAL. USE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.

WARRANTY REQUIREMENTS

1. GENERAL: PROVIDE 2-YEAR WORKMANSHIP WARRANTY ON ALL LABOR AND MATERIALS UNLESS MORE STRINGENT WARRANTIES ARE REQUIRED.
2. ADDITIONAL WARRANTIES:
 - A. JOINTS SEALANTS: 5 YEAR WARRANTY
 - B. STAIN ON MASONRY: 25 YEAR WARRANTY



Restore Consulting, LLC

313.737.8673

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Drawn by: EBW / MDR

Designed by: MDR

Project # 2025-1332

SHEET NAME
General Notes

SHEET NO.

G1.1

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SHEET NAME
South and East
Elevations

SHEET NO.

R1.1

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1 South Elevation

1' = 3/16"



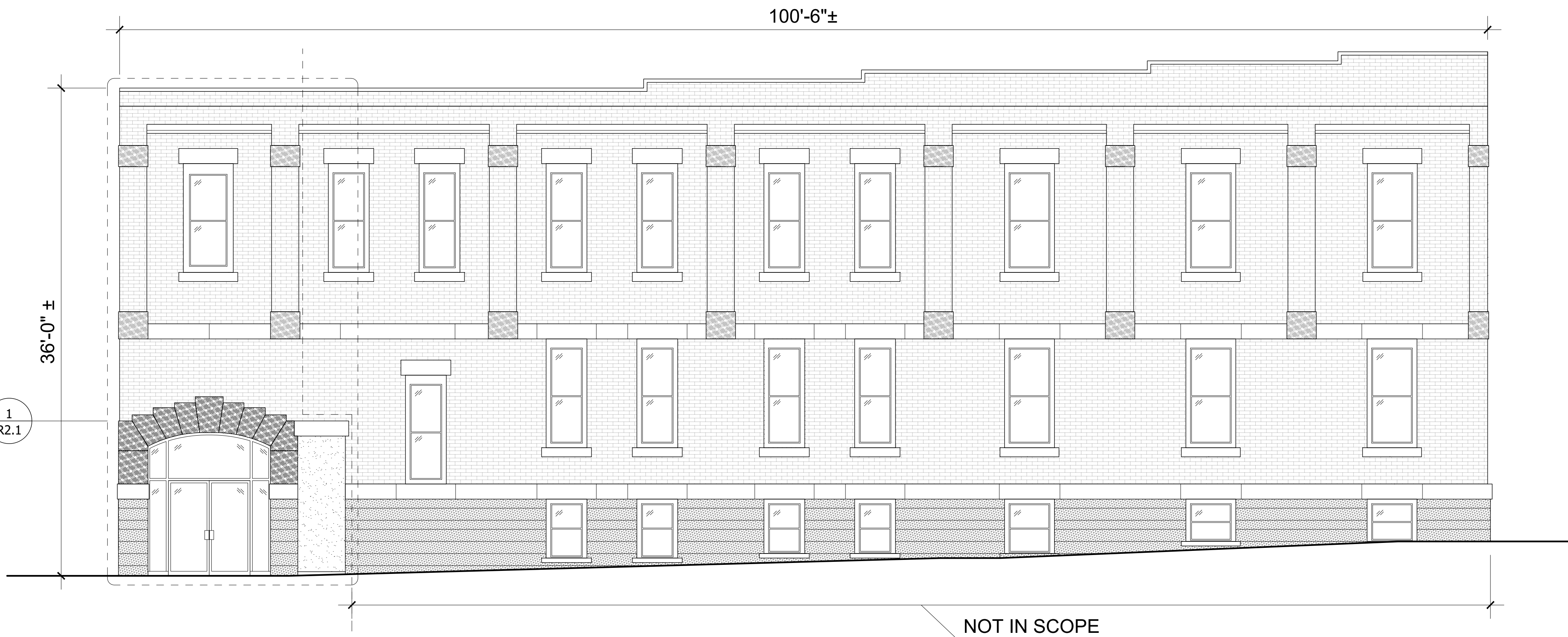
3 East Elevation

N.T.S.



4 South Elevation

N.T.S.



2 East Elevation

1' = 3/16"

REPAIR ITEMS:

XX #	WORK ITEM # / DETAIL #
#	ESTIMATED QUANTITY
LS = LUMP SUM, SF = SQUARE FEET, EA = EACH, PCS = PIECES, AR = AS REQ'D	
1 LS	= REPAIR EAST ENTRANCE ARCHED OPENING
2 LS	= REPAIR AND REPOINT UPPER SE CORNER UPPER WALL MASONRY
2A LS	= ALT: REPAIR UPPER SE CORNER UPPER WALL AND REBUILD SE PILASTER; CLEAN AND SALVAGE ALL FACE BRICK UNITS
3 LS	= REPAIR, RECOAT, AND SEAL EIFS DOORWAY INFILL
3A LS	= ALT: REMOVE EIFS INFILL AND REPLACE WITH SINGLE-WYTHE BRICK MASONRY
4 LS	= REPAIR AND REPOINT NORTH ENTRANCE SANDSTONE; FLASH PEDIMENT
5 2 PCS	= REPLACE BASEMENT DOORS AND TRANSOM PANELS
6 200 SF	= REPOINT NORTH FOUNDATION WALL GRANITE
7 270 SF	= REBUILD WEST LOWER WALL MASONRY
7A 270 SF	= ALT: REBUILD WEST LOWER WALL MASONRY WITH GRANITE
8 360 SF	= REBUILD WEST UPPER WALL MASONRY
9A AR	= ALT: REBUILD WEST ELEVATION ARCHED OPENINGS
10 LF AR	= MISC. WEST ELEVATION MASONRY CRACK STITCHING
11 LF AR	= MISC. WEST ELEVATION MORTAR REPOINTING
12 AR	= MISC. WEST ELEVATION BRICK REPLACEMENT
13 64 SF	= PAINT STRIPPING TEST
13A 3000 SF	= ALT: WEST ELEVATION PAINT STRIPPING
14 3000 SF	= PAINT WEST ELEVATION
14A 3000 SF	= ALT: STAIN WEST ELEVATION
15 90 LF	= WEST ELEVATION CONCRETE CURB & COVE JOINT
16 3 PCS	= REPLACE THROUGH-WALL VENT HOODS



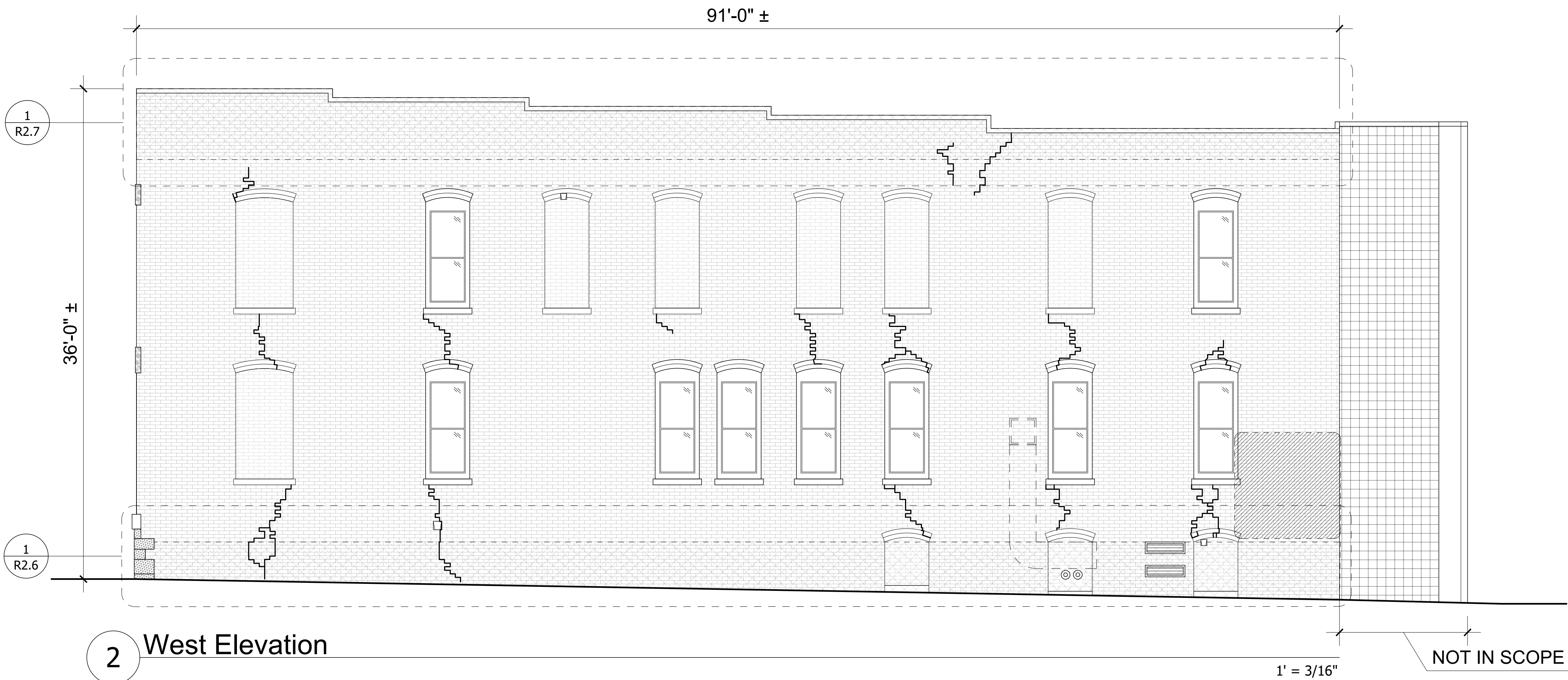
3 North Elevation

N.T.S.



4 West Elevation

N.T.S.



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3 LS	= REPAIR, RECOAT, AND SEAL EIFS DOORWAY INFILL
3A LS	= ALT: REMOVE EIFS INFILL AND REPLACE WITH SINGLE-WYTHE BRICK MASONRY
4 LS	= REPAIR AND REPOINT NORTH ENTRANCE SANDSTONE; FLASH PEDIMENT
5 2 PCS	= REPLACE BASEMENT DOORS AND TRANSOM PANELS
6 200 SF	= REPOINT NORTH FOUNDATION WALL GRANITE
7 270 SF	= REBUILD WEST LOWER WALL MASONRY
7A 270 SF	= ALT: REBUILD WEST LOWER WALL MASONRY WITH GRANITE
8 360 SF	= REBUILD WEST UPPER WALL MASONRY
9A AR	= ALT: REBUILD WEST ELEVATION ARCHED OPENINGS
10 LF AR	= MISC. WEST ELEVATION MASONRY CRACK STITCHING
11 LF AR	= MISC. WEST ELEVATION MORTAR REPOINTING
12 AR	= MISC. WEST ELEVATION BRICK REPLACEMENT
13 64 SF	= PAINT STRIPPING TEST
13A 3000 SF	= ALT: WEST ELEVATION PAINT STRIPPING
14 3000 SF	= PAINT WEST ELEVATION
14A 3000 SF	= ALT: STAIN WEST ELEVATION
15 90 LF	= WEST ELEVATION CONCRETE CURB & COVE JOINT
16 3 PCS	= REPLACE THROUGH-WALL VENT HOODS



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Facade Restoration - Phase 1
101 W Main St
Ionia, Michigan 48846

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Date: 7/21/2026

No.	Date	Revision Description

Drawn by: EBW / MDR

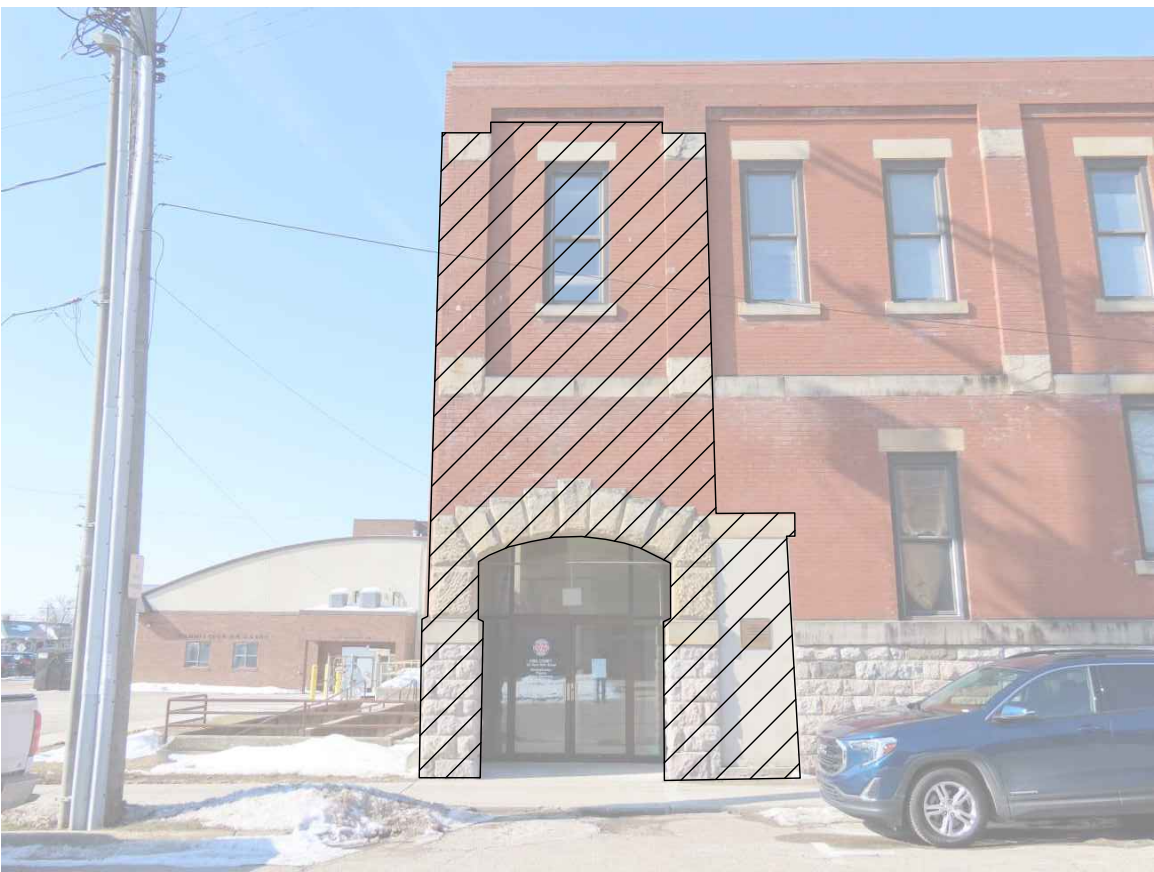
Designed by: MDR

Project # 2025-1332

SHEET NAME
North & West
Elevations

SHEET NO.
R1.2

DRAWINGS SHALL NOT BE REPRODUCED WITHOUT WRITTEN
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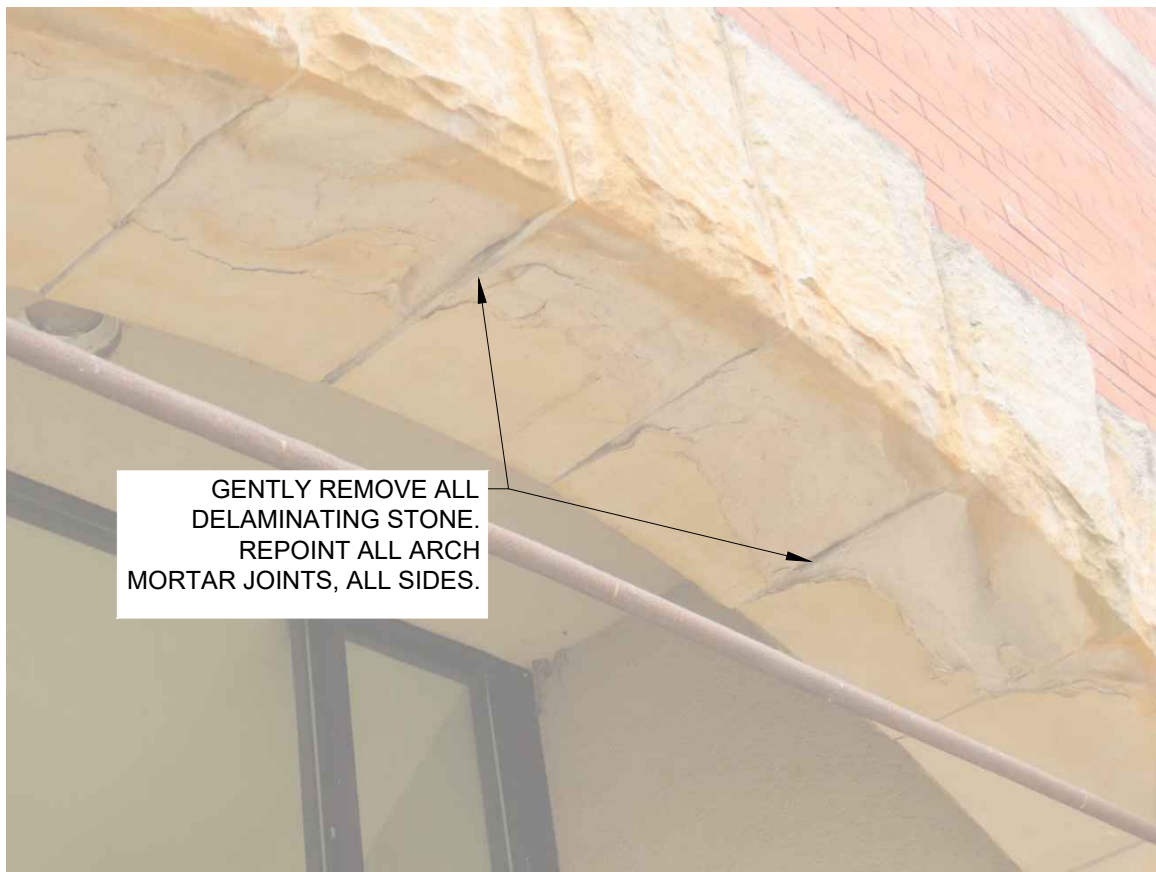
1.1 East Elevation - Area of Work

N.T.S.



1.2 Item 1 - East Entrance Arch

N.T.S.



1.3 Item 1 - Arch Detail

N.T.S.



1.4 Item 1 - Arch Detail, Typ.

N.T.S.



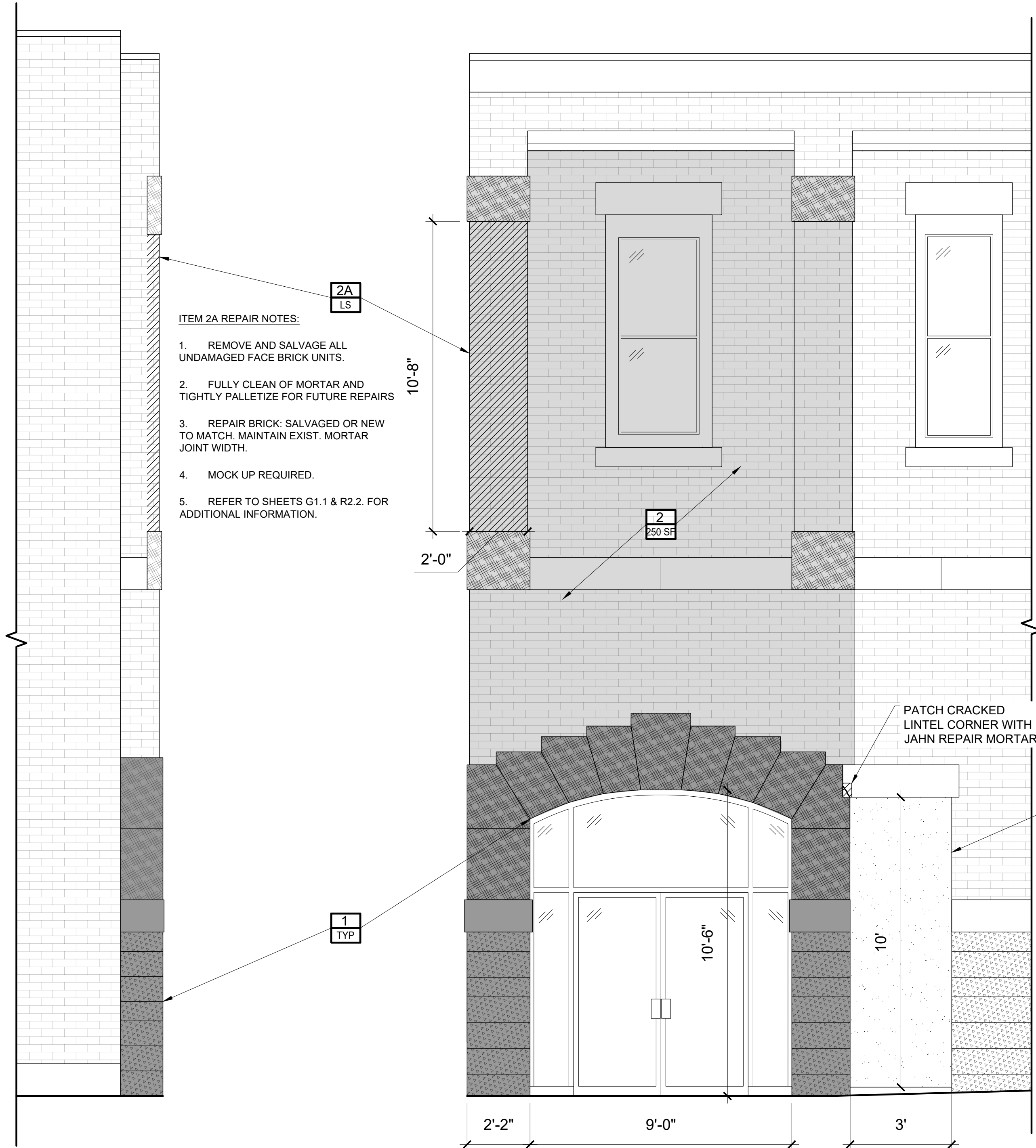
1.5 Item 1 - Stone Lintel Detail

N.T.S.



1.6 Item 1 - Granite Pier Detail, Typ.

N.T.S.

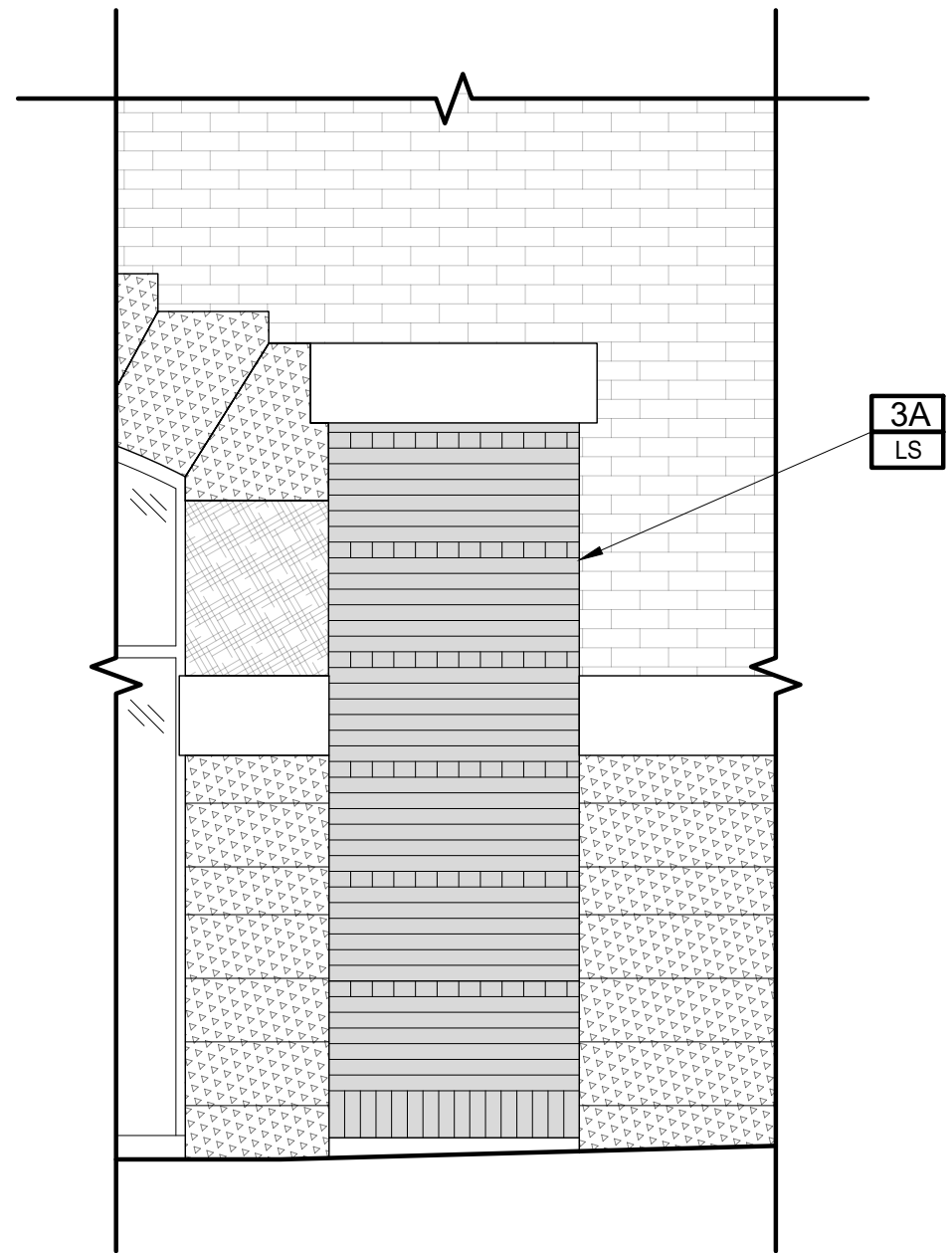


2 East Entrance - S Elevation

3/8" = 1'

1 East Entrance

3/8" = 1'



3 East Entrance Infill Alt. - Item 3A

3/8" = 1'

JAHN REPAIR MORTAR NOTES:

- REFER TO SHEET G1.1 FOR ADDITIONAL MORTAR INFORMATION.
- COLOR, TEXTURE, AND PROFILE TO MATCH NATIVE SURROUNDING STONE.
- INSTALL REPAIR MORTAR IN STRICT ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.

REPOINTING MORTAR NOTES:

- REFER TO SHEET G1.1 FOR ADDITIONAL MORTAR INFORMATION.
- GRANITE JOINTS, TYPE N MORTAR WITH #4 AGGREGATE SAND
COLOR: LIGHT BUFF. PROFILE: WEATHERED TOP AND BOTTOM..
- SANDSTONE JOINTS, PHL MORTAR 3.5
COLOR: LIGHT BUFF. PROFILE: STRUCK FLUSH.
- LIMESTONE JOINTS, TYPE N MORTAR
COLOR: LIGHT BUFF. PROFILE: STRUCK FLUSH.
- BRICK JOINTS, TYPE MORTAR
COLOR: LIGHT BUFF. PROFILE: WEATHERED TO MATCH EXISTING.
- MORTAR MOCK UPS REQUIRED.



ITEM 3A ALTERNATE REPAIR NOTES:

- REMOVE EIFS ASSEMBLY. INSTALL NEW PLYWOOD WALL SHEATHING--IF REQUIRED--AND 30 LB. FELT PAPER.
- BRICK: GLEN-GARY JET BLACK OR APPROVED ALT.
- BRICK BOND PATTERN: COMMON BOND OVER SOLDIER BOND COURSE.
- MORTAR: TYPE N. COLOR: BLACK. PROFILE: STRUCK FLUSH.
- MOCK UP BRICK AND MORTAR REQUIRED.
- REFER TO SHEET G1.1 FOR ADDITIONAL MORTAR INFORMATION.

REPAIR ITEMS:

XX	WORK ITEM # / DETAIL #
#	ESTIMATED QUANTITY
	LS = LUMP SUM, SF = SQUARE FEET, EA = EACH, PCS = PIECES, AR = AS REQ'D
1	REPAIR EAST ENTRANCE ARCHED OPENING
2	REPAIR AND REPOINT UPPER SE CORNER UPPER WALL MASONRY
2A	ALT: REPAIR UPPER SE CORNER UPPER WALL AND REBUILD SE PILASTER; CLEAN AND SALVAGE ALL FACE BRICK UNITS
3	REPAIR, RECOAT, AND SEAL EIFS DOORWAY INFILL
3A	ALT: REMOVE EIFS INFILL AND REPLACE WITH SINGLE-WYTHE BRICK MASONRY
4	REPAIR AND REPOINT NORTH ENTRANCE SANDSTONE; FLASH PEDIMENT
5	REPLACE BASEMENT DOORS AND TRANSOM PANELS
6	REPOINT NORTH FOUNDATION WALL GRANITE
7	REBUILD WEST LOWER WALL MASONRY
7A	ALT: REBUILD WEST LOWER WALL MASONRY WITH GRANITE
8	REBUILD WEST UPPER WALL MASONRY
9A	ALT: REBUILD WEST ELEVATION ARCHED OPENINGS
10	MISC. WEST ELEVATION MASONRY CRACK STITCHING
11	MISC. WEST ELEVATION MORTAR REPOINTING
12	MISC. WEST ELEVATION BRICK REPLACEMENT
13	PAINT STRIPPING TEST
13A	ALT: WEST ELEVATION PAINT STRIPPING
14	PAINT WEST ELEVATION
14A	ALT: STAIN WEST ELEVATION
15	WEST ELEVATION CONCRETE CURB & COVE JOINT
16	REPLACE THROUGH-WALL VENT HOODS



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No.	Date	Revision Description

Drawn by: EBW / MDR

Designed by: MDR

Project # 2025-1332

SHEET NAME

Repair Details: Items 1-3

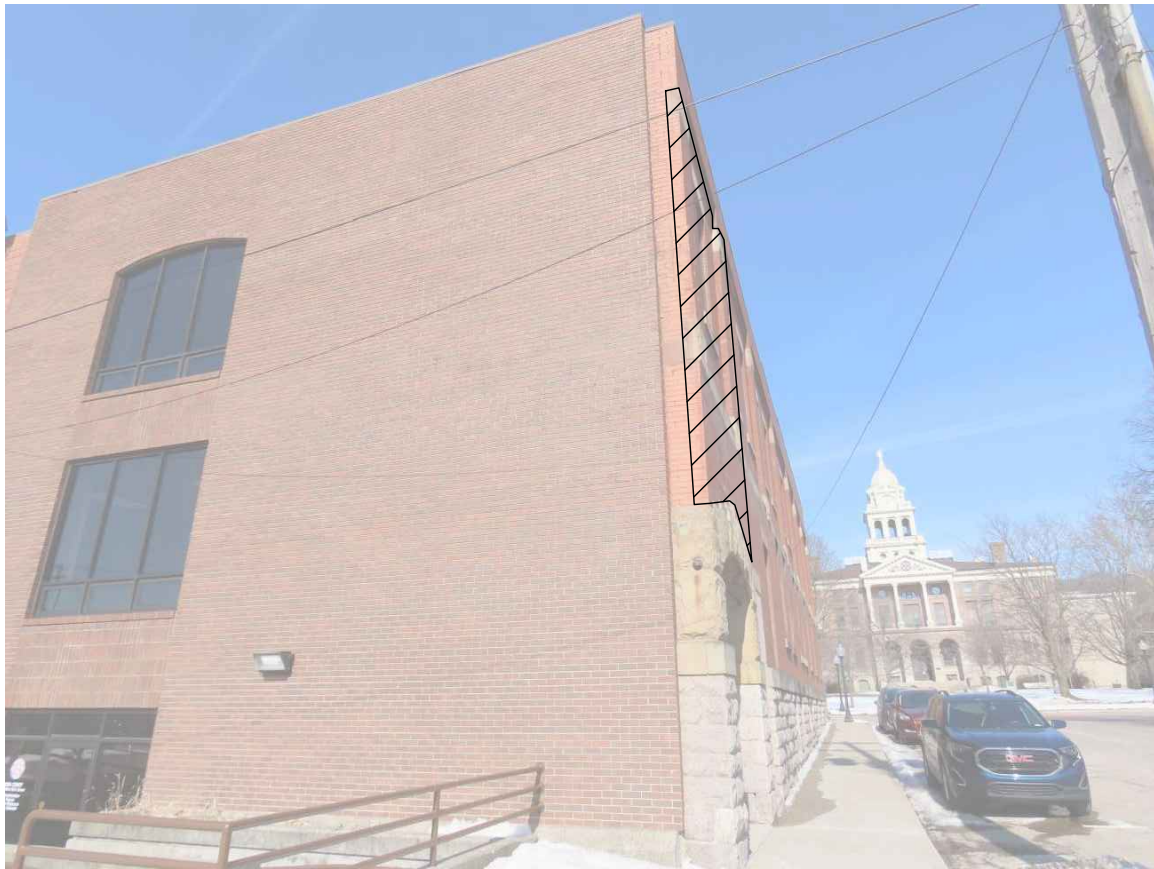
SHEET NO.

R2.1

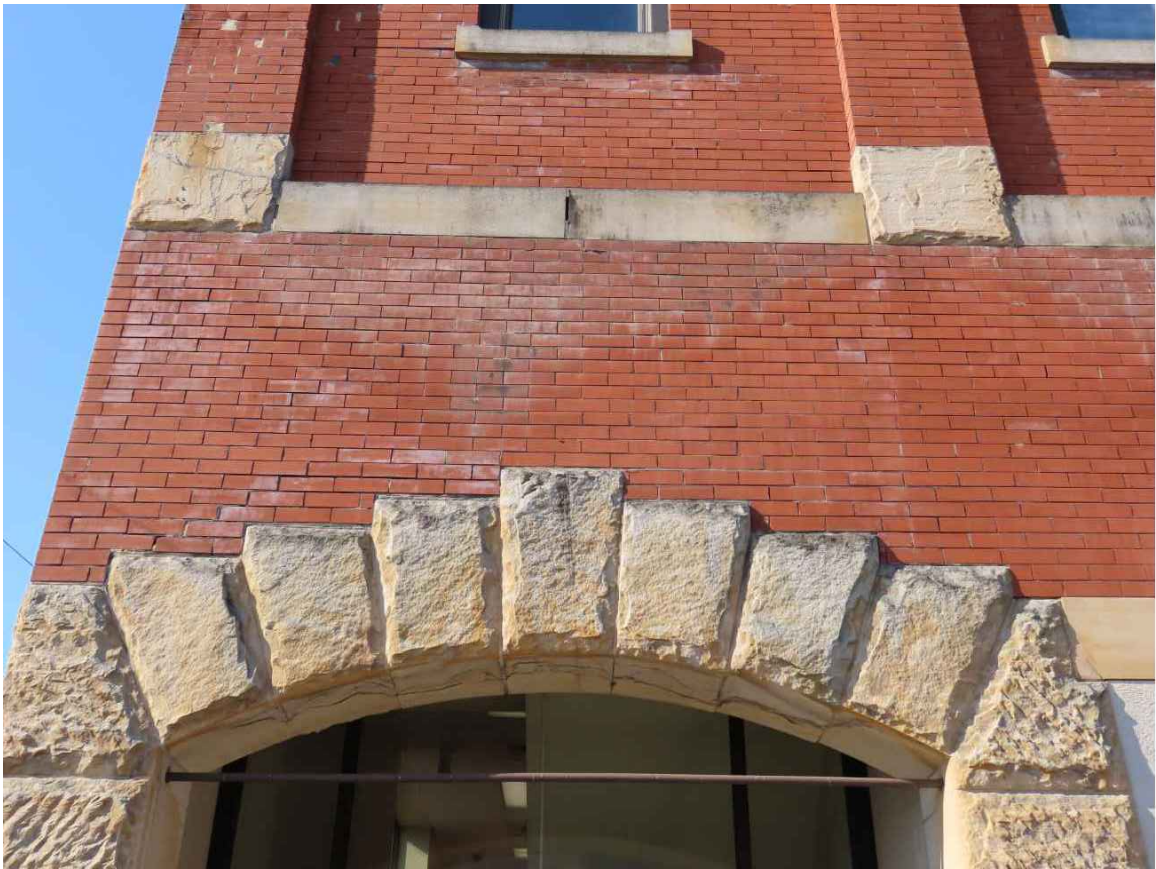
DRAWINGS SHALL NOT BE REPRODUCED WITHOUT WRITTEN
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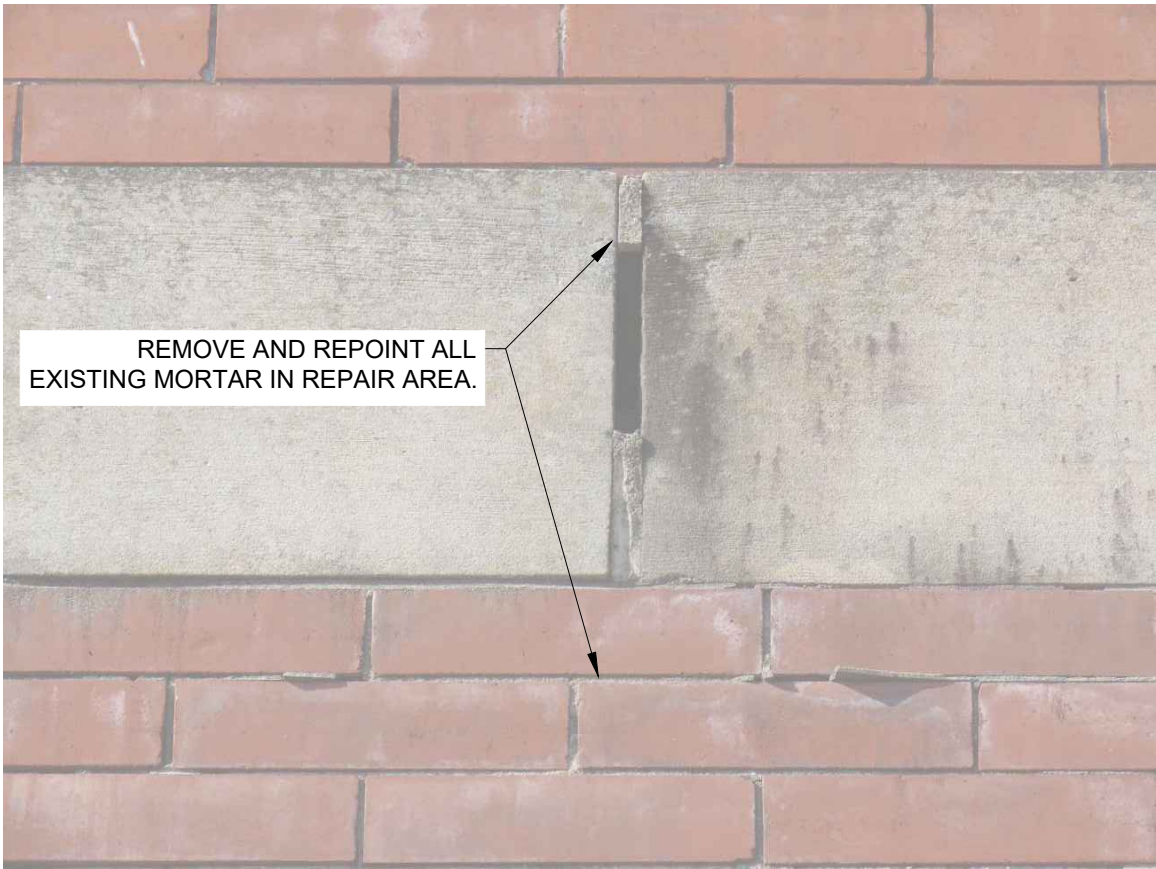
1.1 Item 2 - Area of Work



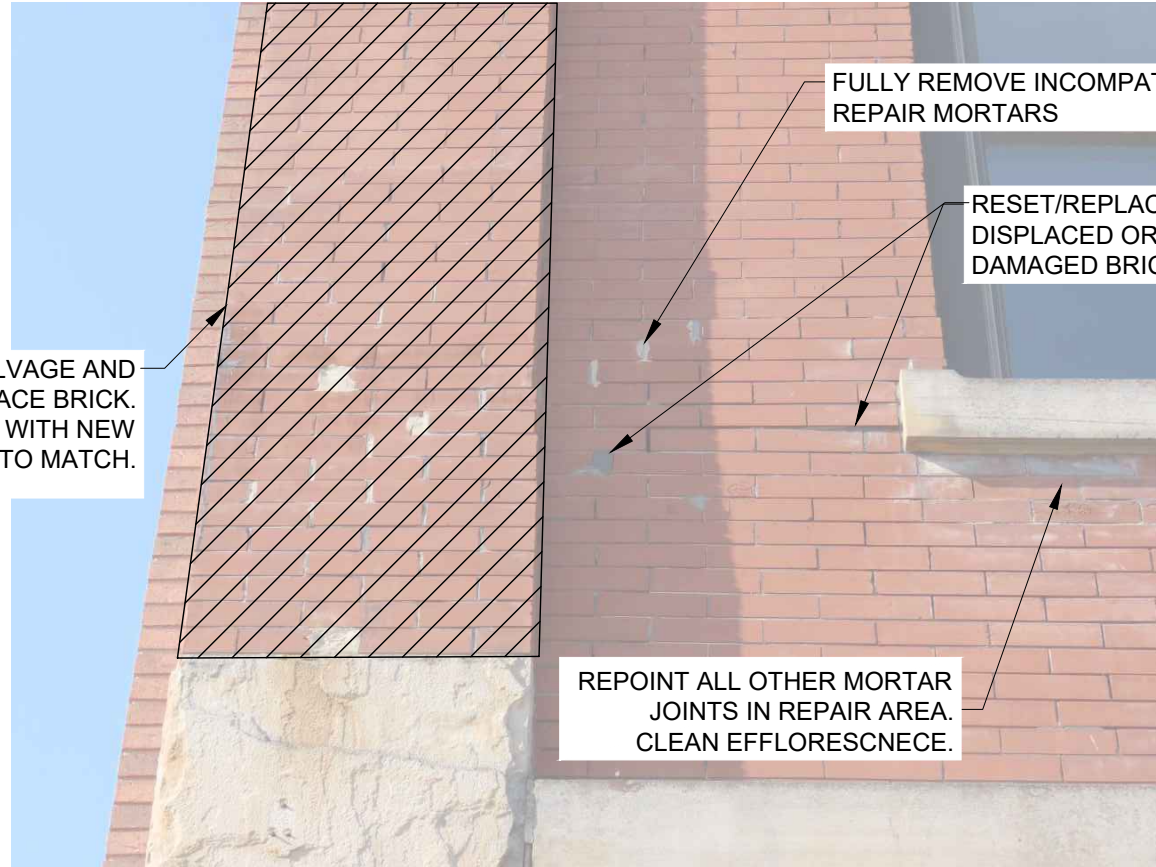
1.2 Item 2 - Area of Work



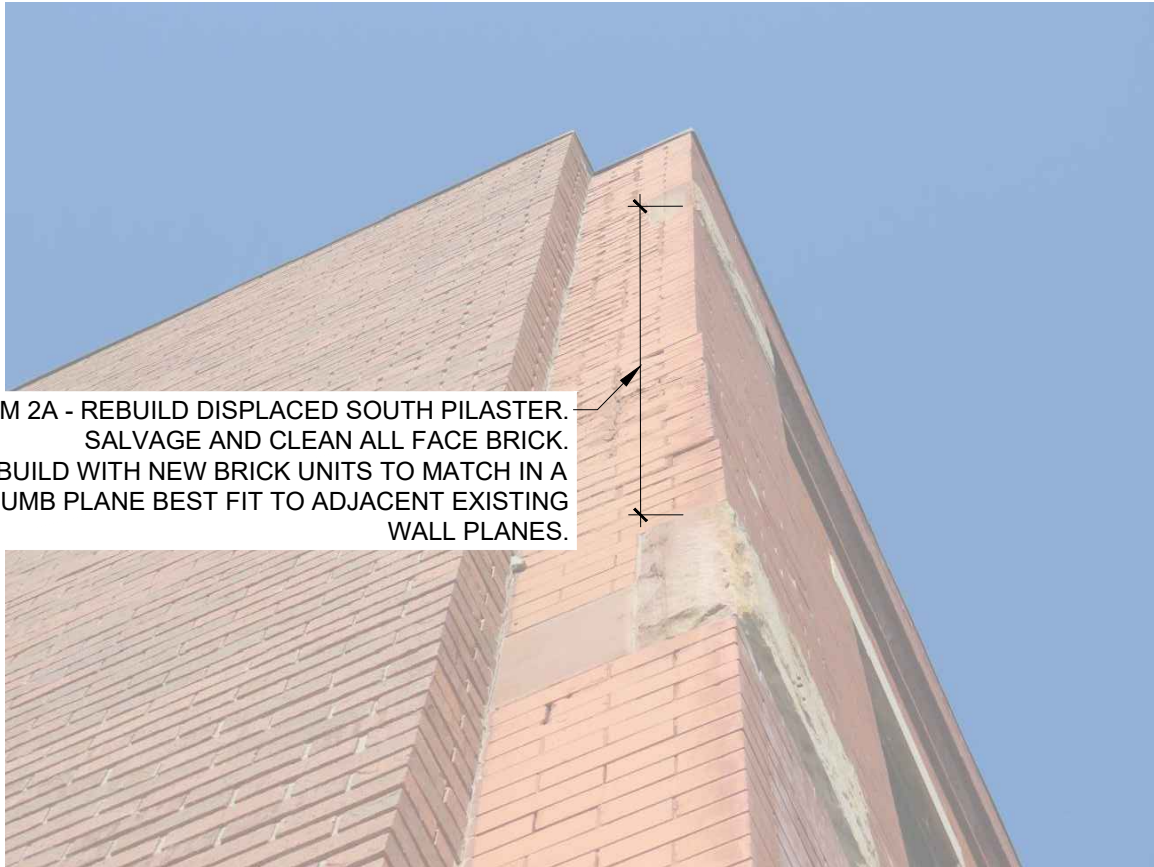
1.3 Item 2 - Masonry Detail



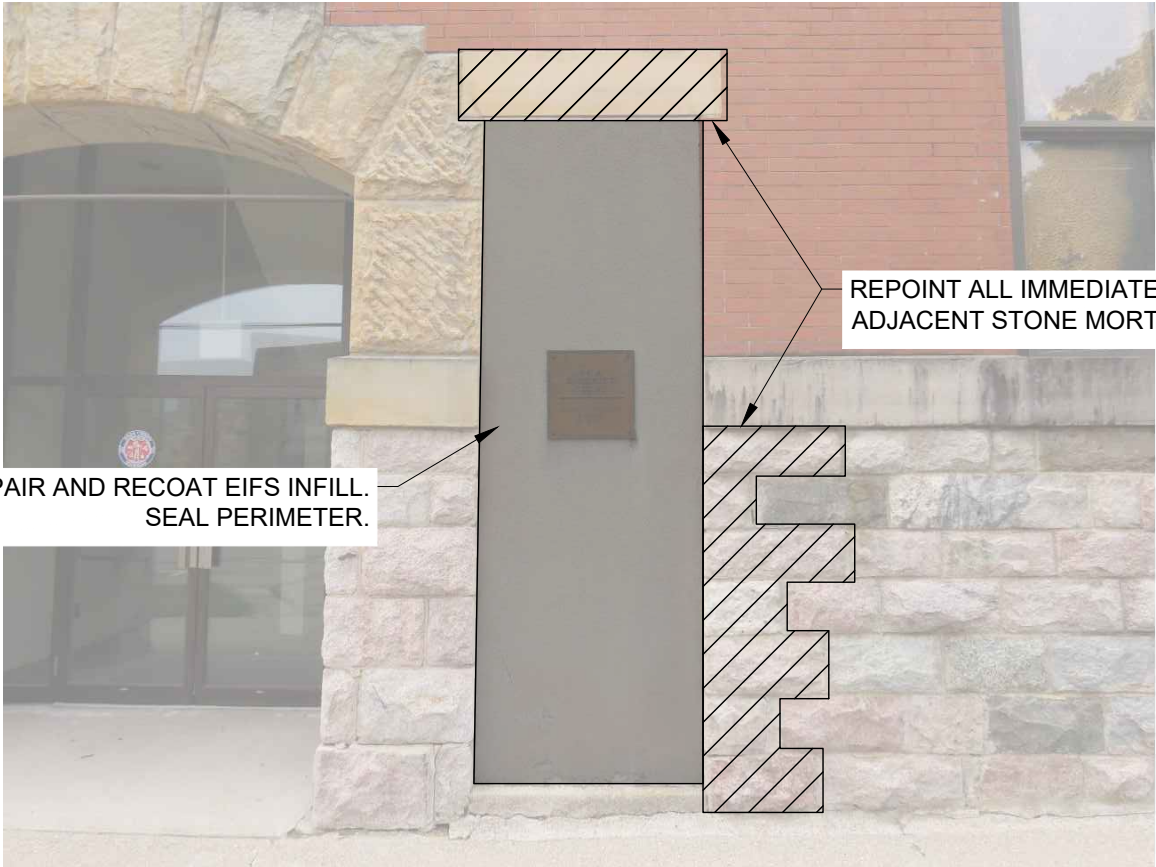
1.4 Item 2 - Masonry Detail



2.1 Items 2 & 2A - SE Corner 2nd Floor



2.2 Item 2A - Rebuild S Pilaster



3.1 Item 3 - EIFS Repair



3.2 Item 3 - EIFS Detail



4.1 Face Brick Width, 4"



4.2 Face Brick Length, 8-3/8"

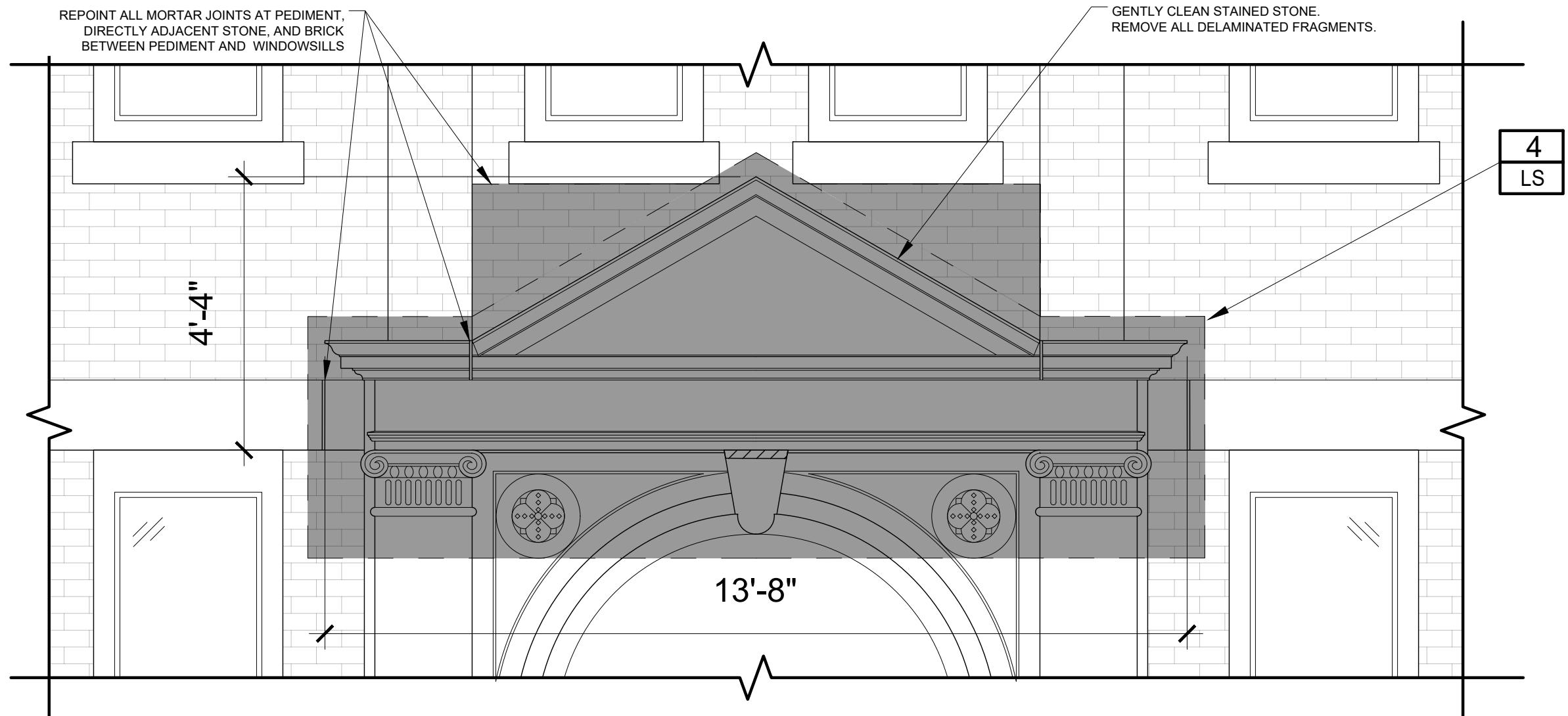


4.3 Face Brick Height, 2-3/8"

- REPOINTING MORTAR NOTES:**
- REFER TO SHEET G1.1 FOR ADDITIONAL MORTAR INFORMATION.
 - GRANITE JOINTS, TYPE N MORTAR WITH #4 AGGREGATE SAND
COLOR: LIGHT BUFF. PROFILE WEATHERED TOP AND BOTTOM..
 - SANDSTONE JOINTS, PHL MORTAR 3.5
COLOR: LIGHT BUFF. PROFILE: STRUCK FLUSH.
 - LIMESTONE JOINTS, TYPE N MORTAR
COLOR: LIGHT BUFF. PROFILE: STRUCK FLUSH.
 - BRICK JOINTS, TYPE MORTAR
COLOR: LIGHT BUFF. PROFILE: WEATHERED TO MATCH EXISTING.
 - MORTAR MOCK UPS REQUIRED.

- BRICK UNIT NOTES:**
- FACE BRICK DIMENSIONS (N AND E ELEVATIONS) = 8" x 2-3/8" x 4"
 - BED JOINT MORTAR HEIGHT = APPROX. 1/4"
 - HEAD JOINT MORTAR WIDTH = APPROX. 1/8" TO 3/16"
 - NEW MORTAR TO MATCH HISTORIC COLOR, TEXTURE, AGGREGATE COMPOSITION, DIMENSIONS, AND PROFILE.
 - REPLACEMENT BRICKS TO MATCH HISTORIC COLOR, TEXTURE, SHEEN, AND DIMENSIONS. REPLACEMENT UNITS SUBJECT TO APPROVAL.
 - SHOULD MATCHING REPLACEMENT BRICKS BE UNAVAILABLE, NEW BRICKS TO BE STAINED TO MATCH.
 - HISTORIC MORTAR JOINT DIMENSIONS TO BE MAINTAINED IN ALL REPAIR AREAS.

No.	Date	Revision Description



1 North Entrance Pediment - Item 4

1/2" = 1'



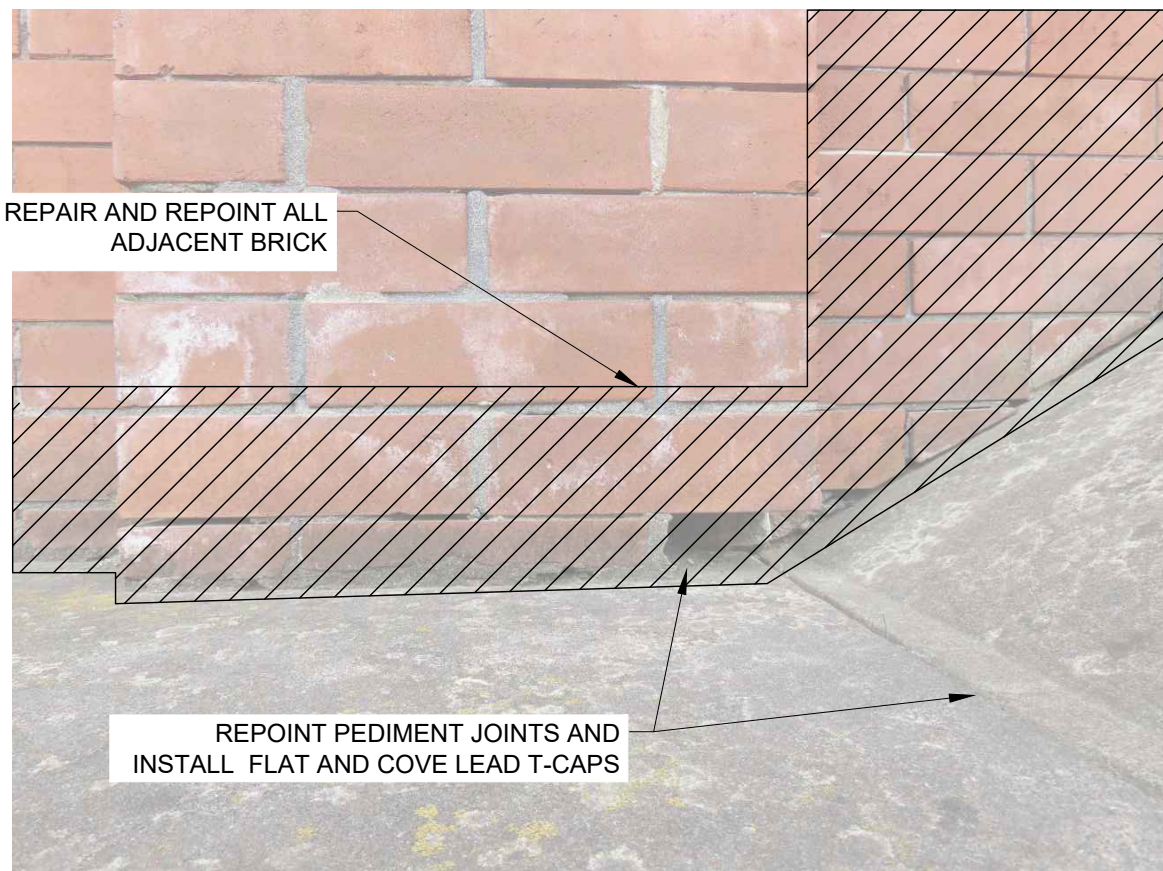
1.3 Sandstone Detail, Typ.

N.T.S.



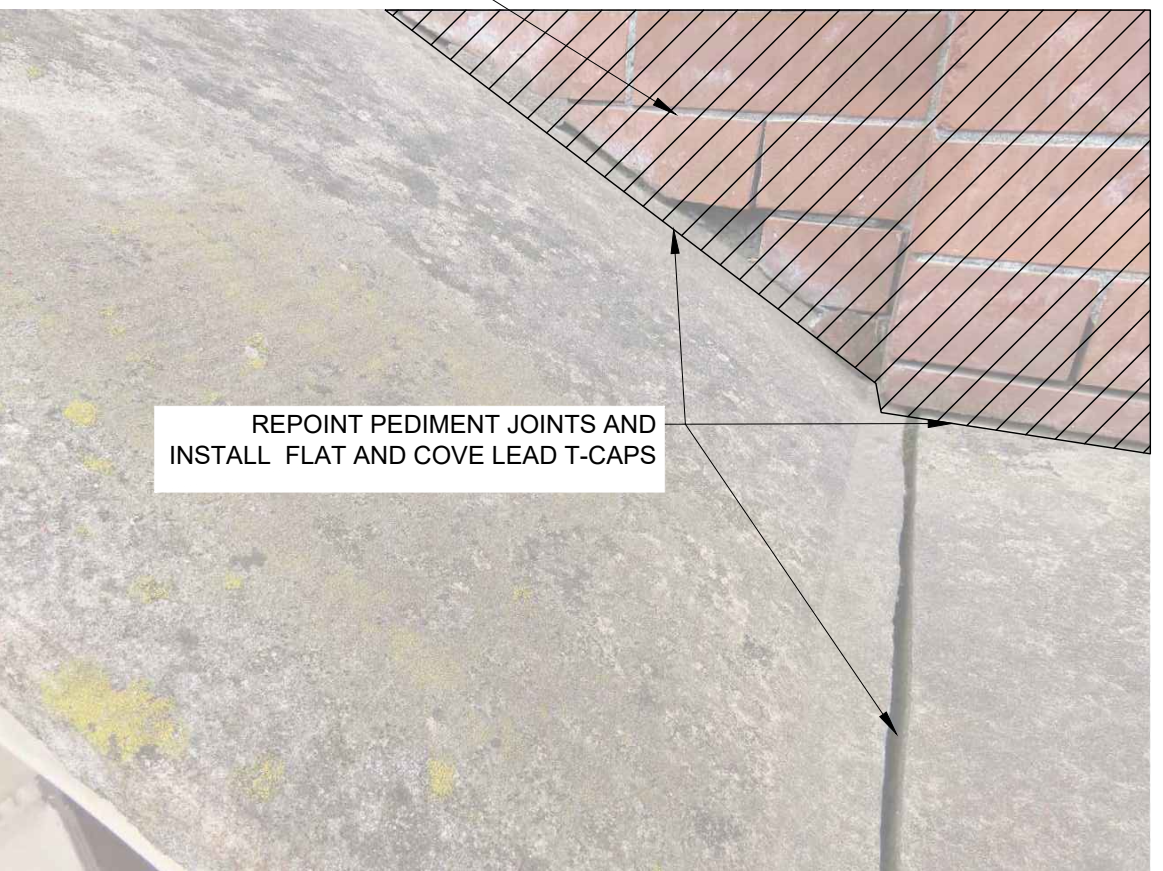
1.4 Sandstone Detail, Typ.

N.T.S.



1.6 Pediment Detail, Typ.

N.T.S.



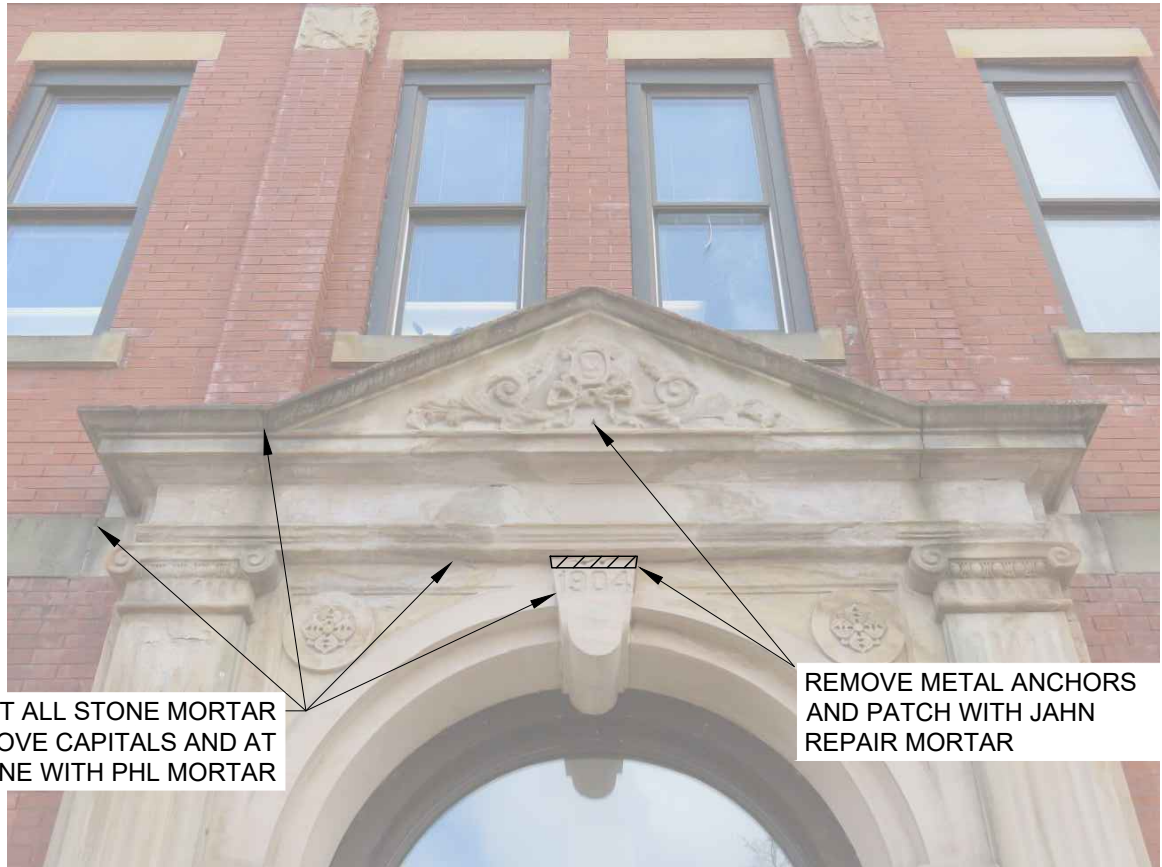
1.7 Pediment Details, Typ.

N.T.S.



1.1 North Entrance Pediment - Area of Work

N.T.S.



1.2 Pediment Detail

N.T.S.

REPOINTING MORTAR NOTES:

- REFER TO SHEET G1.1 FOR ADDITIONAL MORTAR INFORMATION.
- GRANITE JOINTS, TYPE N MORTAR WITH #4 AGGREGATE SAND.
COLOR: LIGHT BUFF. PROFILE WEATHERED TOP AND BOTTOM..
- SANDSTONE JOINTS, PHL MORTAR 3.5
COLOR: LIGHT BUFF. PROFILE: STRUCK FLUSH.
- LIMESTONE JOINTS, TYPE N MORTAR
COLOR: LIGHT BUFF. PROFILE: STRUCK FLUSH.
- BRICK JOINTS, TYPE MORTAR
COLOR: LIGHT BUFF. PROFILE: WEATHERED TO MATCH EXISTING.
- MORTAR MOCK UPS REQUIRED.

JAHN REPAIR MORTAR NOTES:

- REFER TO SHEET G1.1 FOR ADDITIONAL MORTAR INFORMATION.
- COLOR, TEXTURE, AND PROFILE TO MATCH NATIVE SURROUNDING STONE.
- INSTALL REPAIR MORTAR IN STRICT ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.

REPAIR ITEMS:

XX	WORK ITEM # / DETAIL #
#	ESTIMATED QUANTITY
	LS = LUMP SUM, SF = SQUARE FEET, EA = EACH, PCS = PIECES, AR = AS REQD
1	LS
2	LS
2A	LS
3	LS
3A	LS
4	LS
5	2 PCS
6	200 SF
7	270 SF
7A	270 SF
8	360 SF
9A	AR
10	LF AR
11	LF AR
12	AR
13	64 SF
13A	3000 SF
14	3000 SF
14A	3000 SF
15	90 LF
16	3 PCS

= REPAIR EAST ENTRANCE ARCHED OPENING

= REPAIR AND REPOINT UPPER SE CORNER UPPER WALL MASONRY

= ALT: REPAIR UPPER SE CORNER UPPER WALL AND REBUILD SE PILASTER; CLEAN AND SALVAGE ALL FACE BRICK UNITS

= REPAIR, RECOAT, AND SEAL EIFS DOORWAY INFILL

= ALT: REMOVE EIFS INFILL AND REPLACE WITH SINGLE-WYTHE BRICK MASONRY

= REPAIR AND REPOINT NORTH ENTRANCE SANDSTONE; FLASH PEDIMENT

= REPLACE BASEMENT DOORS AND TRANSOM PANELS

= REPOINT NORTH FOUNDATION WALL GRANITE

= REBUILD WEST LOWER WALL MASONRY

= ALT: REBUILD WEST LOWER WALL MASONRY WITH GRANITE

= REBUILD WEST UPPER WALL MASONRY

= ALT: REBUILD WEST ELEVATION ARCHED OPENINGS

= MISC. WEST ELEVATION MASONRY CRACK STITCHING

= MISC. WEST ELEVATION MORTAR REPOINTING

= MISC. WEST ELEVATION BRICK REPLACEMENT

= PAINT STRIPPING TEST

= ALT: WEST ELEVATION PAINT STRIPPING

= PAINT WEST ELEVATION

= ALT: STAIN WEST ELEVATION

= WEST ELEVATION CONCRETE CURB & COVE JOINT

= REPLACE THROUGH-WALL VENT HOODS

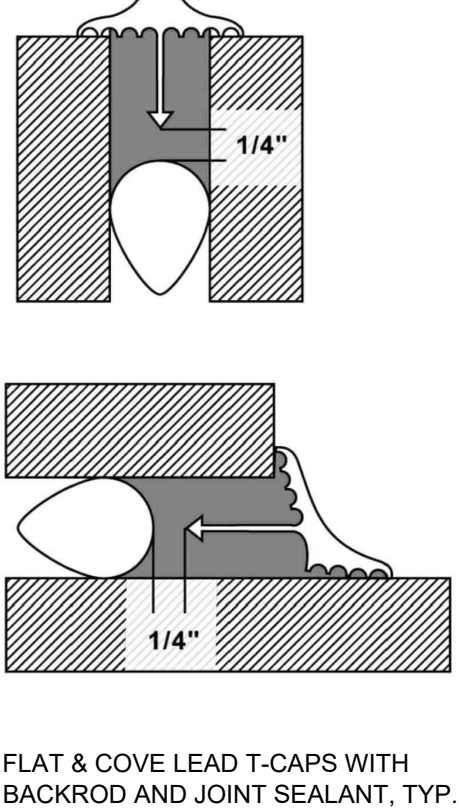
1.5 Keystone Detail

N.T.S.



1.8 Pediment Details, Typ.

N.T.S.



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Designed by: MDR

Project # 2025-1332

SHEET NAME

Repair Details: Item 4

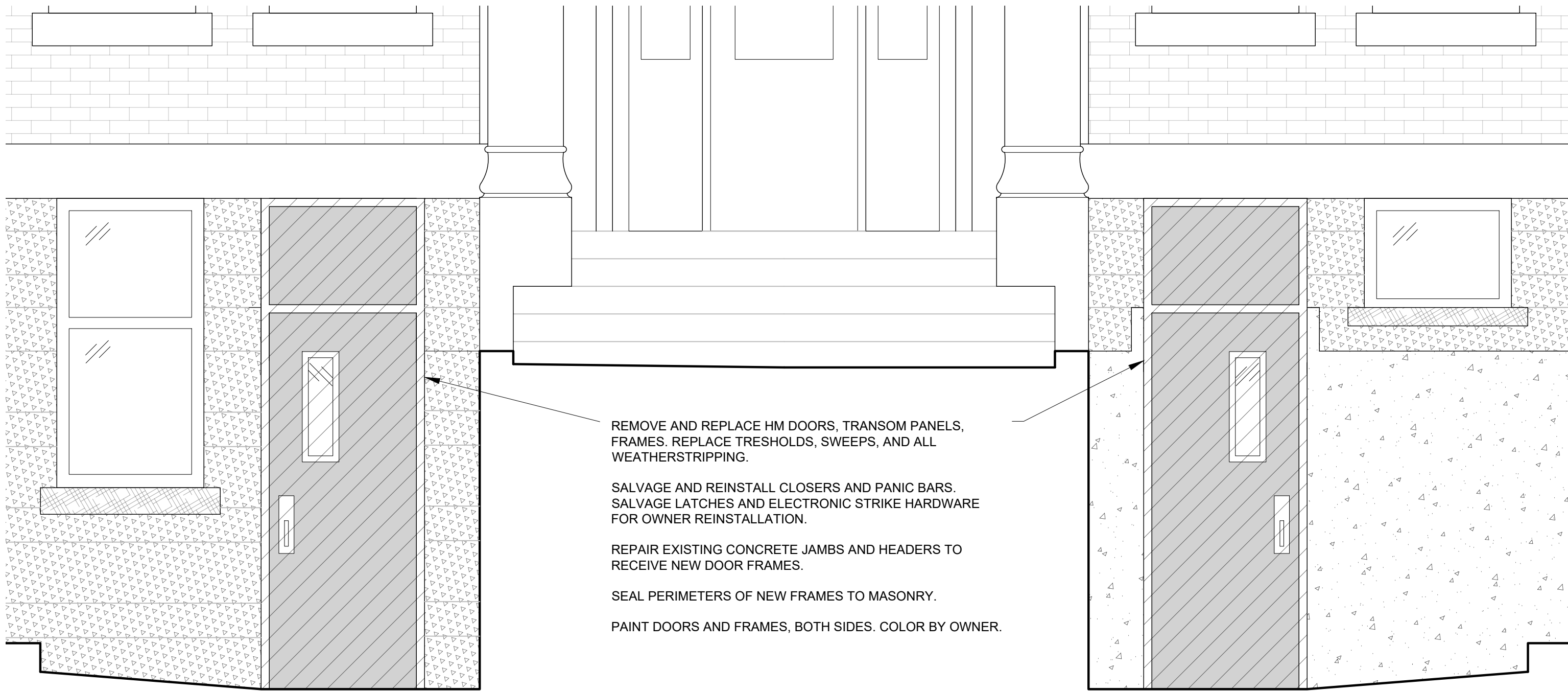
SHEET NO.

R2.3

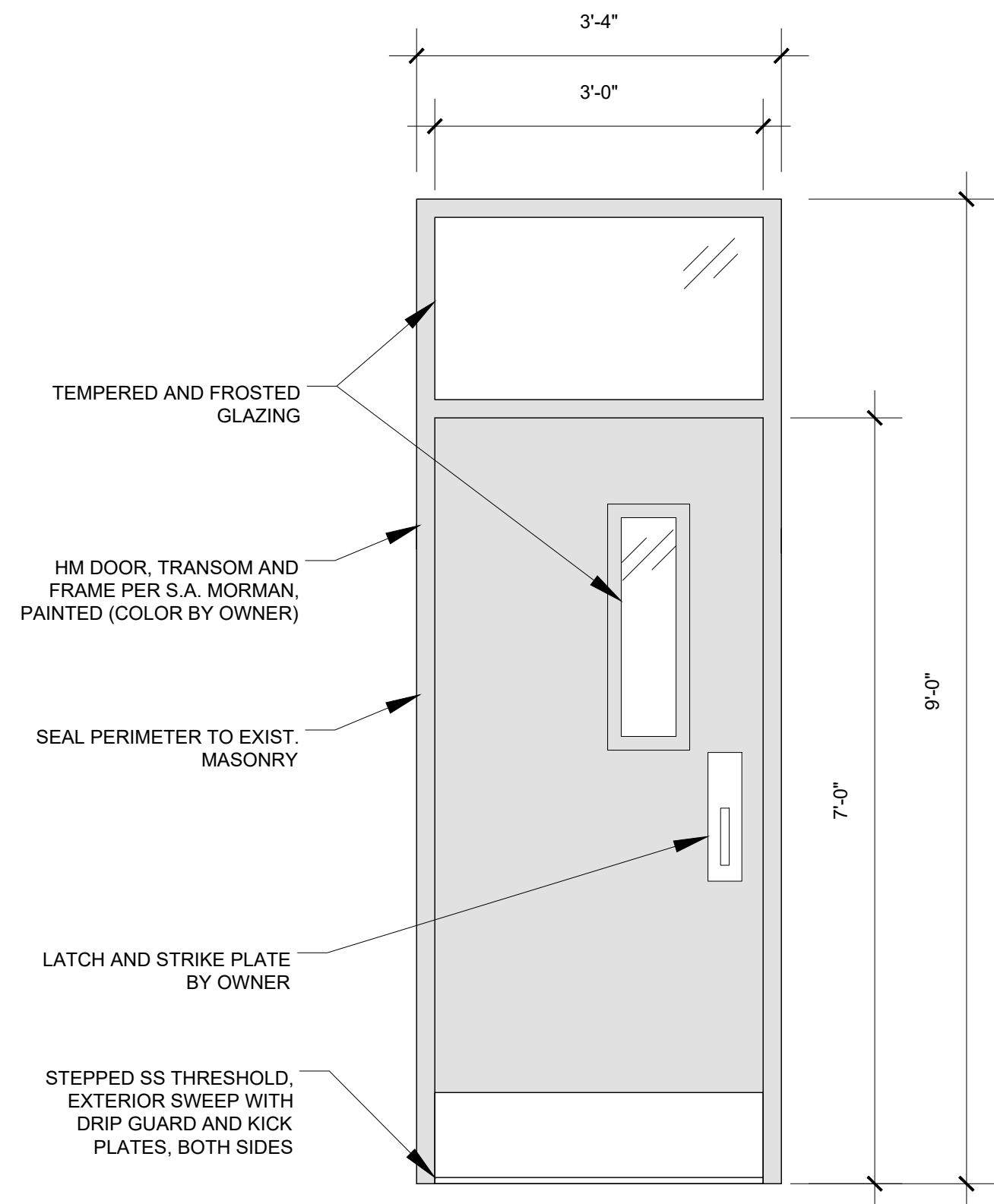
DRAWINGS SHALL NOT BE REPRODUCED WITHOUT WRITTEN CONSENT FROM RESTORE CONSULTING, LLC.



1.1 North Elevation Basement Doors - Area of Work
N.T.S.



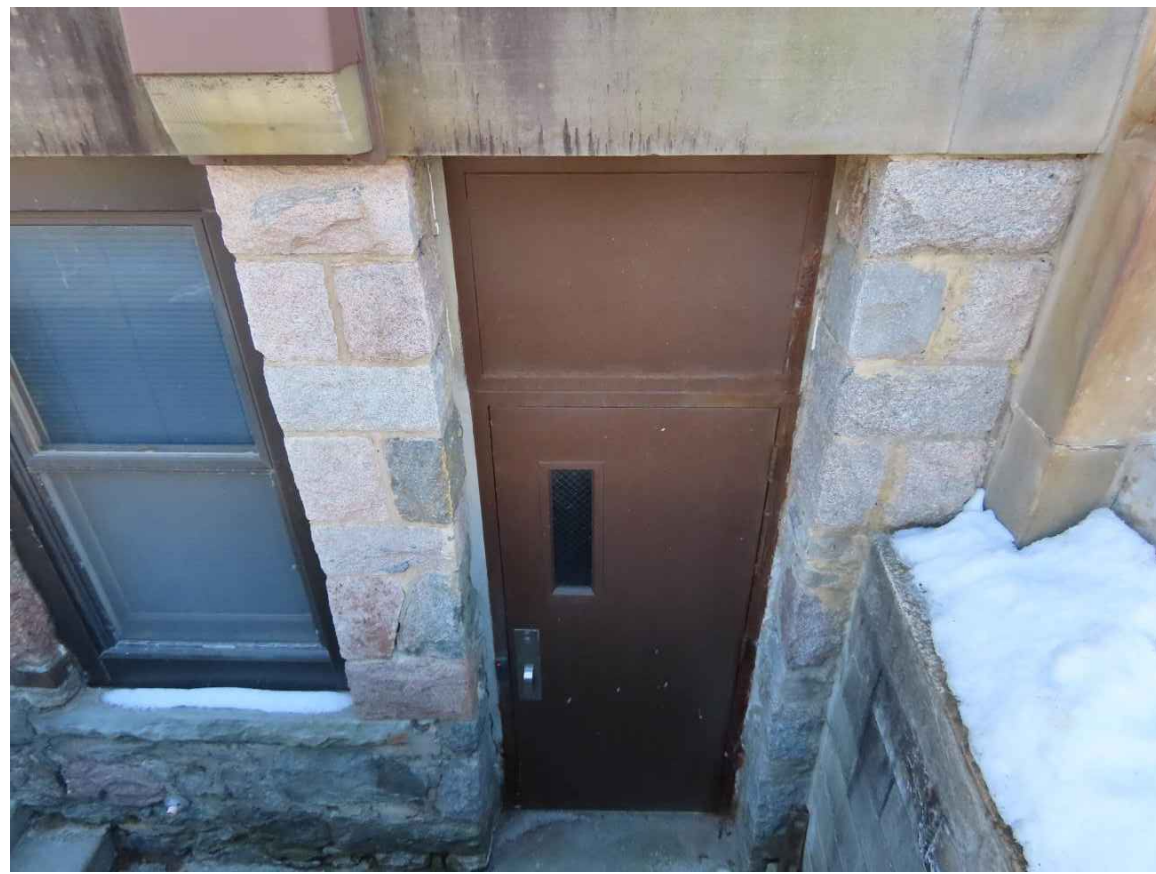
1 North Elevation Basement Doors - Item 5
1/2" = 1'



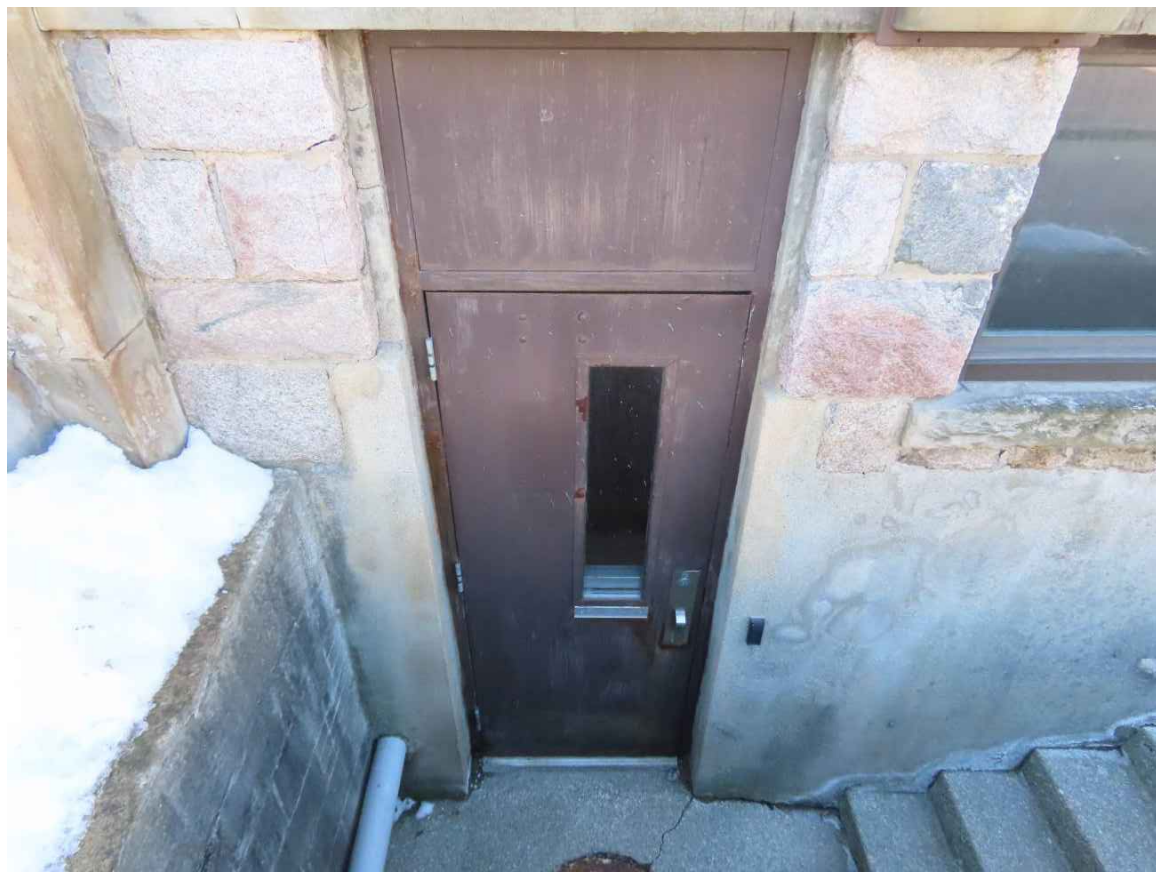
2 Replacement Door & Transom
3/4" = 1'



1.2 Existing Jamb Condition
N.T.S.



1.3 East Door
N.T.S.



1.4 West Door
N.T.S.



1.5 Existing Transom and Header
N.T.S.



1.6 Existing Threshold
N.T.S.



1.7 Existing Interior
N.T.S.



1.8 Existing Interior
N.T.S.



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Repair Details: Item 5

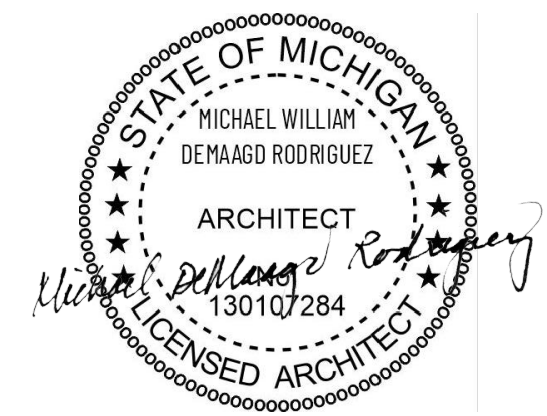
SHEET NO.

R2.4

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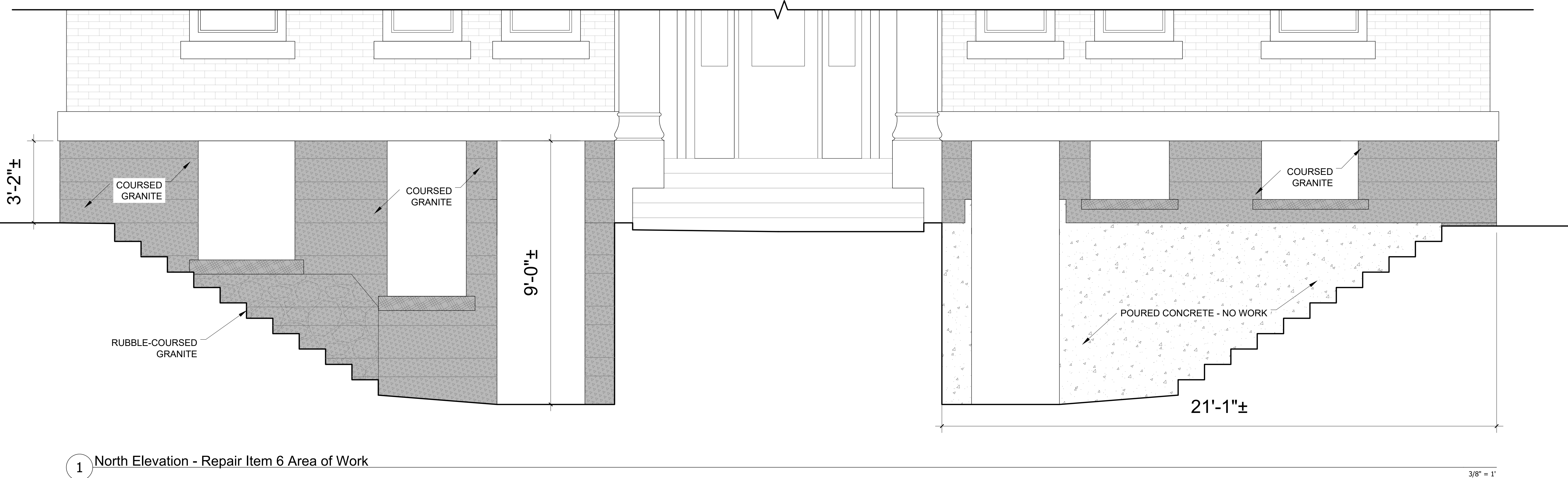
SHEET NAME

Repair Details: Item 6

SHEET NO.

R2.5

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1 North Elevation - Repair Item 6 Area of Work



1.2 North Foundation Wall



1.3 North Foundation Wall



1.4 Foundation Wall Detail, Typ.



1.5 Foundation Wall Detail, Typ.

REPOINTING MORTAR NOTES:

- REFER TO SHEET G1.1 FOR ADDITIONAL MORTAR INFORMATION.
- GRANITE JOINTS, TYPE N MORTAR WITH #4 AGGREGATE SAND
COLOR: LIGHT BUFF. PROFILE WEATHERED TOP AND BOTTOM..
- SANDSTONE JOINTS, PHL MORTAR 3.5
COLOR: LIGHT BUFF. PROFILE: STRUCK FLUSH.
- LIMESTONE JOINTS, TYPE N MORTAR
COLOR: LIGHT BUFF. PROFILE: STRUCK FLUSH.
- BRICK JOINTS, TYPE MORTAR
COLOR: LIGHT BUFF. PROFILE: WEATHERED TO MATCH EXISTING.
- MORTAR MOCK UPS REQUIRED.

REPAIR ITEMS:

XX #	WORK ITEM # / DETAIL #
ESTIMATED QUANTITY	
LS = LUMP SUM, SF = SQUARE FEET, EA = EACH, PCS = PIECES, AR = AS REQ'D	
1 LS	= REPAIR EAST ENTRANCE ARCHED OPENING
2 LS	= REPAIR AND REPOINT UPPER SE CORNER UPPER WALL MASONRY
2A LS	= ALT: REPAIR UPPER SE CORNER UPPER WALL AND REBUILD SE PILASTER; CLEAN AND SALVAGE ALL FACE BRICK UNITS
3 LS	= REPAIR, RECOAT, AND SEAL EIFS DOORWAY INFILL
3A LS	= ALT: REMOVE EIFS INFILL AND REPLACE WITH SINGLE-WYTHE BRICK MASONRY
4 LS	= REPAIR AND REPOINT NORTH ENTRANCE SANDSTONE; FLASH PEDIMENT
5 2 PCS	= REPLACE BASEMENT DOORS AND TRANSOM PANELS
6 200 SF	= REPOINT NORTH FOUNDATION WALL GRANITE
7 270 SF	= REBUILD WEST LOWER WALL MASONRY
7A 270 SF	= ALT: REBUILD WEST LOWER WALL MASONRY WITH GRANITE
8 360 SF	= REBUILD WEST UPPER WALL MASONRY
9A AR	= ALT: REBUILD WEST ELEVATION ARCHED OPENINGS
10 LF AR	= MISC. WEST ELEVATION MASONRY CRACK STITCHING
11 LF AR	= MISC. WEST ELEVATION MORTAR REPOINTING
12 AR	= MISC. WEST ELEVATION BRICK REPLACEMENT
13 64 SF	= PAINT STRIPPING TEST
13A 3000 SF	= ALT: WEST ELEVATION PAINT STRIPPING
14 3000 SF	= PAINT WEST ELEVATION
14A 3000 SF	= ALT: STAIN WEST ELEVATION
15 90 LF	= WEST ELEVATION CONCRETE CURB & COVE JOINT
16 3 PCS	= REPLACE THROUGH-WALL VENT HOODS

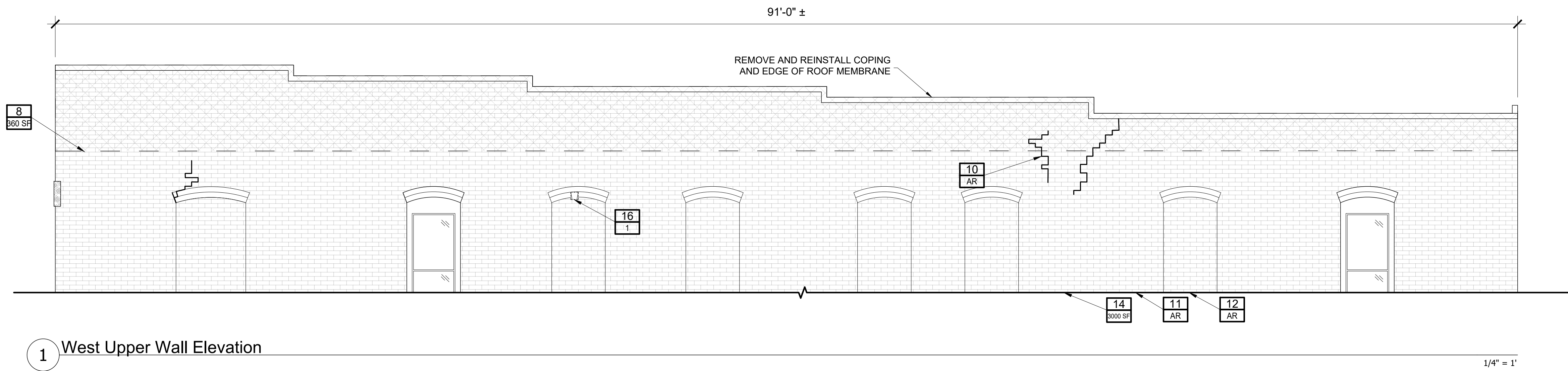


XX	WORK ITEM # / DETAIL #
#	ESTIMATED QUANTITY
1	LS = LUMP SUM, SF = SQUARE FEET, EA = EACH, PCS = PIECES, AR = AS REQUIRED
1	LS = REPAIR EAST ENTRANCE ARCHED OPENING
2	LS = REPAIR AND REPOINT UPPER SE CORNER UPPER WALL
2A	LS = ALT: REPAIR UPPER SE CORNER UPPER WALL AND PLASTER; CLEAN AND SALVAGE ALL FACE BRICK U
3	LS = REPAIR, RECOAT, AND SEAL EIFS DOORWAY INFILL
3A	LS = ALT: REMOVE EIFS INFILL AND REPLACE WITH SING BRICK MASONRY
4	LS = REPAIR AND REPOINT NORTH ENTRANCE SANDSTONE FLASH PEDIMENT
5	2 PCS = REPLACE BASEMENT DOORS AND TRANSOM PANELS
6	200 SF = REPOINT NORTH FOUNDATION WALL GRANITE
7	270 SF = REBUILD WEST LOWER WALL MASONRY
7A	270 SF = ALT: REBUILD WEST LOWER WALL MASONRY WITH
8	360 SF = REBUILD WEST UPPER WALL MASONRY
9A	AR = ALT: REBUILD WEST ELEVATION ARCHED OPENING
10	LF AR = MISC. WEST ELEVATION MASONRY CRACK STITCHING
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12	AR = MISC. WEST ELEVATION BRICK REPLACEMENT
13	64 SF = PAINT STRIPPING TEST
13A	3000 SF = ALT: WEST ELEVATION PAINT STRIPPING
14	3000 SF = PAINT WEST ELEVATION
14A	3000 SF = ALT: STAIN WEST ELEVATION
15	90 LF = WEST ELEVATION CONCRETE CURB & COVE JOINT
16	3 PCS = REPLACE THROUGH-WALL VENT HOODS

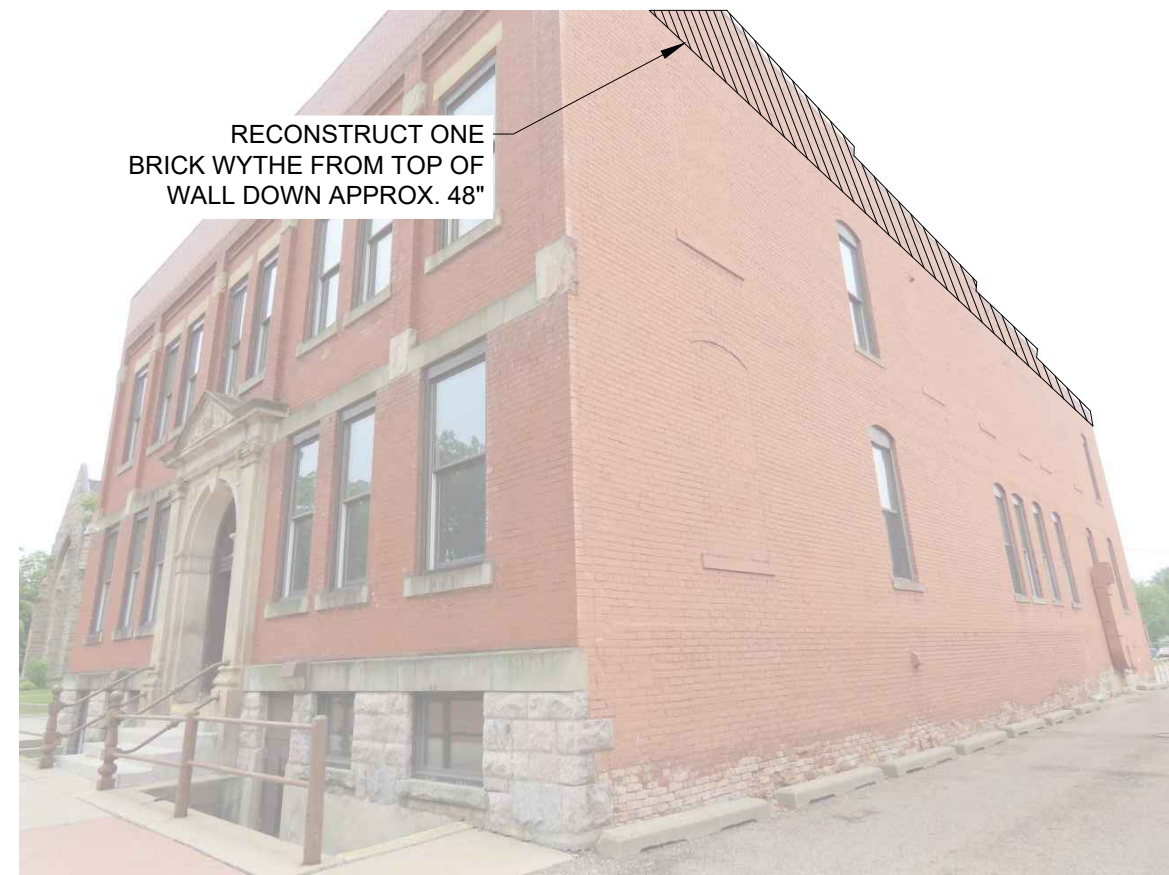
1. BRICK: BELDEN BELCREST 360 OR APPROVED ALT.
2. BRICK BOND PATTERN: COMMON BOND.
3. MORTAR: TYPE N. COLOR: LIGHT BUFF. PROFILE: STRUCK FLUSH.
4. MOCK UP BRICK AND MORTAR REQUIRED.
5. REFER TO SHEET G1.1 FOR ADDITIONAL MORTAR INFORMATION.

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1 West Upper Wall Elevation



1.2 West Upper Wall

N.T.S.



1.3 West Upper Wall

N.T.S.



1.4 Upper Wall Detail, Typ.

N.T.S.



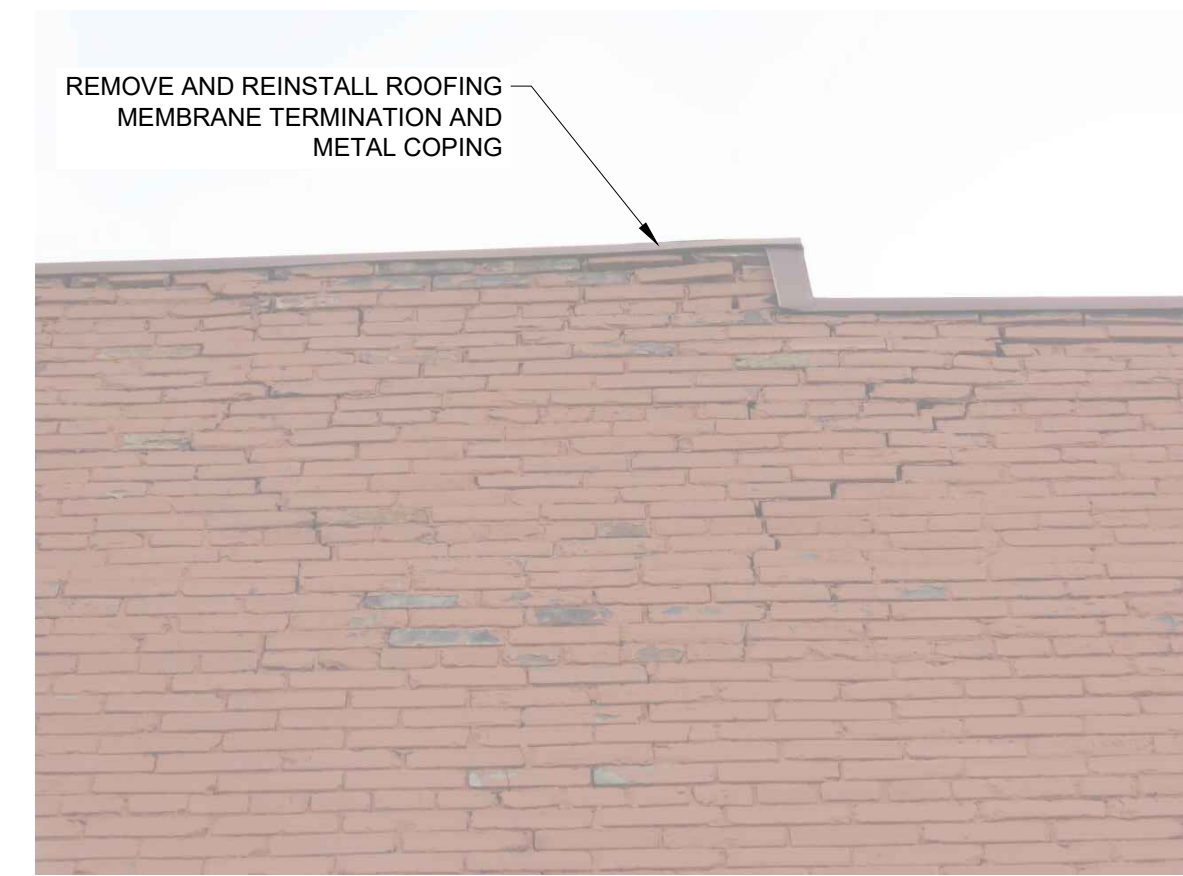
1.5 Upper Wall Detail, Typ.

N.T.S.



1.6 Upper Wall Detail, Typ.

N.T.S.



1.7 Upper Wall Detail, Typ.

N.T.S.

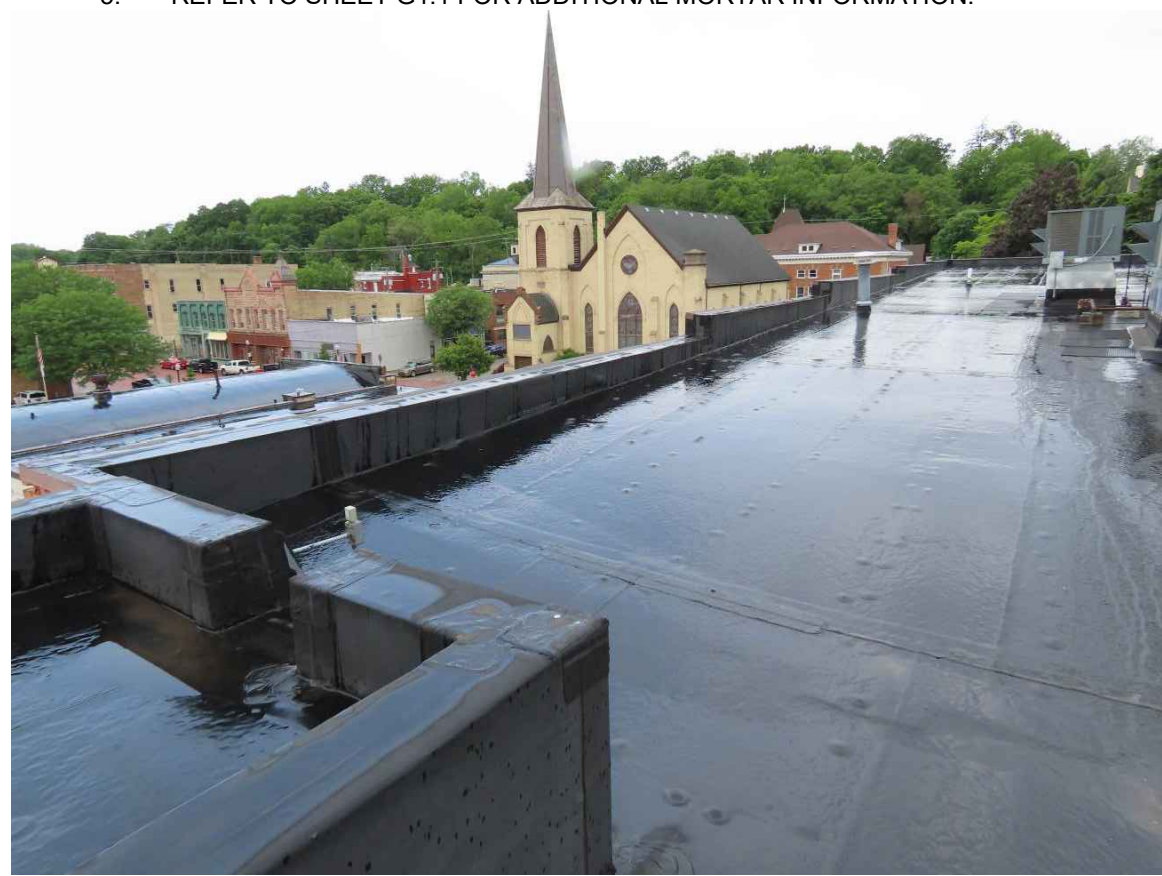
REPAIR ITEMS:

XX #	WORK ITEM # / DETAIL #
ESTIMATED QUANTITY	
LS = LUMP SUM, SF = SQUARE FEET, EA = EACH, PCS = PIECES, AR = AS REQ'D	
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2A LS	= ALT: REPAIR UPPER SE CORNER UPPER WALL AND REBUILD SE PILASTER; CLEAN AND SALVAGE ALL FACE BRICK UNITS
3 LS	= REPAIR, RECOAT, AND SEAL EIFS DOORWAY INFILL
3A LS	= ALT: REMOVE EIFS INFILL AND REPLACE WITH SINGLE-WYTHE BRICK MASONRY
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7A 270 SF	= ALT: REBUILD WEST LOWER WALL MASONRY WITH GRANITE
8 360 SF	= REBUILD WEST UPPER WALL MASONRY
9A AR	= ALT: REBUILD WEST ELEVATION ARCHED OPENINGS
10 LF AR	= MISC. WEST ELEVATION MASONRY CRACK STITCHING
11 LF AR	= MISC. WEST ELEVATION MORTAR REPOINTING
12 AR	= MISC. WEST ELEVATION BRICK REPLACEMENT
13 64 SF	= PAINT STRIPPING TEST
13A 3000 SF	= ALT: WEST ELEVATION PAINT STRIPPING
14 3000 SF	= PAINT WEST ELEVATION
14A 3000 SF	= ALT: STAIN WEST ELEVATION
15 90 LF	= WEST ELEVATION CONCRETE CURB & COVE JOINT
16 3 PCS	= REPLACE THROUGH-WALL VENT HOODS



ITEMS 7 & 8 REPAIR NOTES:

- BRICK: BELDEN BELCREST 360 OR APPROVED ALT.
- BRICK BOND PATTERN: COMMON BOND.
- MORTAR: TYPE N. COLOR: LIGHT BUFF. PROFILE: STRUCK FLUSH.
- MOCK UP BRICK AND MORTAR REQUIRED.
- REFER TO SHEET G1.1 FOR ADDITIONAL MORTAR INFORMATION.



1.8 West Parapet Wall, View from Roof

N.T.S.



Restore Consulting, LLC
313.737.8673
www.restoreces.com



Ionia County Administration Building
Facade Restoration - Phase 1
101 W Main St
Ionia, Michigan 48846

Issued For: Bidding & Construction

Date: 7/21/2026

No.	Date	Revision Description

Drawn by: EBW / MDR

Designed by: MDR

Project # 2025-1332

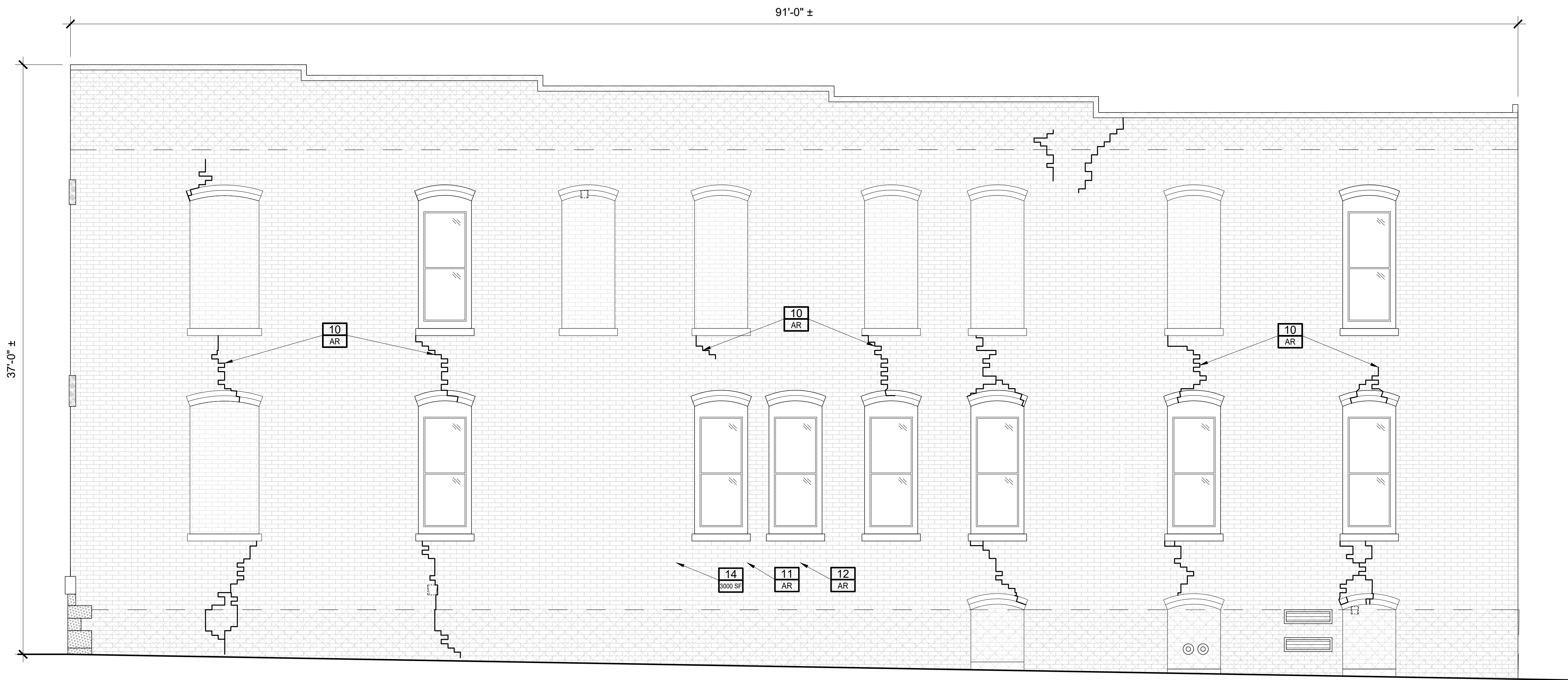
SHEET NAME

Repair Details:
West Upper Wall

SHEET NO.

R2.7

DRAWINGS SHALL NOT BE REPRODUCED WITHOUT WRITTEN
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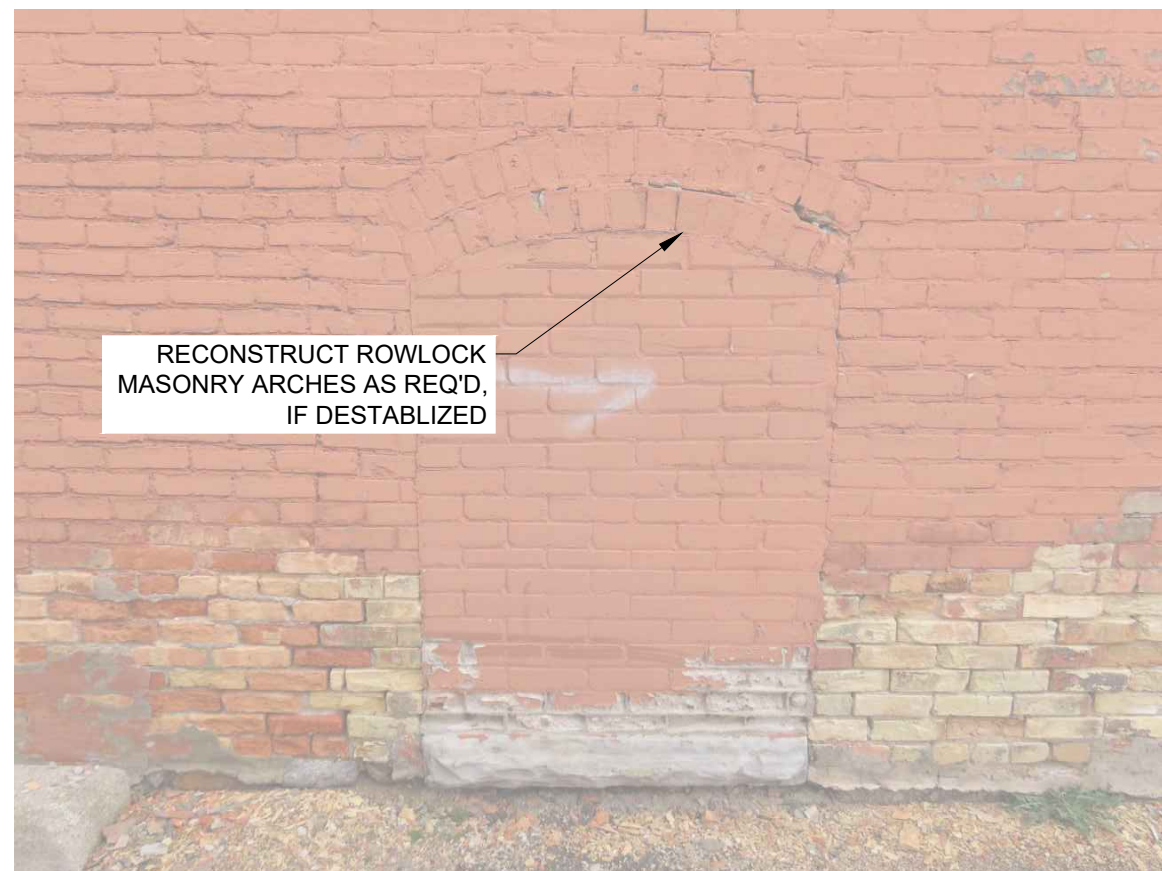


REPAIR ITEMS:

- | XX # | WORK ITEM # / DETAIL # |
|------|--|
| 1 | REPAIR EAST ENTRANCE ARCHED OPENING |
| 2 | REPAIR AND REPOINT UPPER SE CORNER UPPER WALL MASONRY |
| 2A | ALT: REPAIR UPPER SE CORNER UPPER WALL AND REBUILD SE PILASTER; CLEAN AND SALVAGE ALL FACE BRICK UNITS |
| 3 | REPAIR, RECOAT, AND SEAL EIFS DOORWAY INFILL |
| 3A | ALT: REMOVE EIFS INFILL AND REPLACE WITH SINGLE-WYTHE BRICK MASONRY |
| 4 | REPAIR AND REPOINT NORTH ENTRANCE SANDSTONE; FLASH PEDIMENT |
| 5 | REPLACE BASEMENT DOORS AND TRANSOM PANELS |
| 6 | REPOINT NORTH FOUNDATION WALL GRANITE |
| 7 | REBUILD WEST LOWER WALL MASONRY |
| 7A | ALT: REBUILD WEST LOWER WALL MASONRY WITH GRANITE |
| 8 | REBUILD WEST UPPER WALL MASONRY |
| 9A | ALT: REBUILD WEST ELEVATION ARCHED OPENINGS |
| 10 | MISC. WEST ELEVATION MASONRY CRACK STITCHING |
| 11 | MISC. WEST ELEVATION MORTAR REPOINTING |
| 12 | MISC. WEST ELEVATION BRICK REPLACEMENT |
| 13 | PAINT STRIPPING TEST |
| 13A | ALT: WEST ELEVATION PAINT STRIPPING |
| 14 | PAINT WEST ELEVATION |
| 14A | ALT: STAIN WEST ELEVATION |
| 15 | WEST ELEVATION CONCRETE CURB & COVE JOINT |
| 16 | REPLACE THROUGH-WALL VENT HOODS |

1 West Elevation

1/4" = 1'



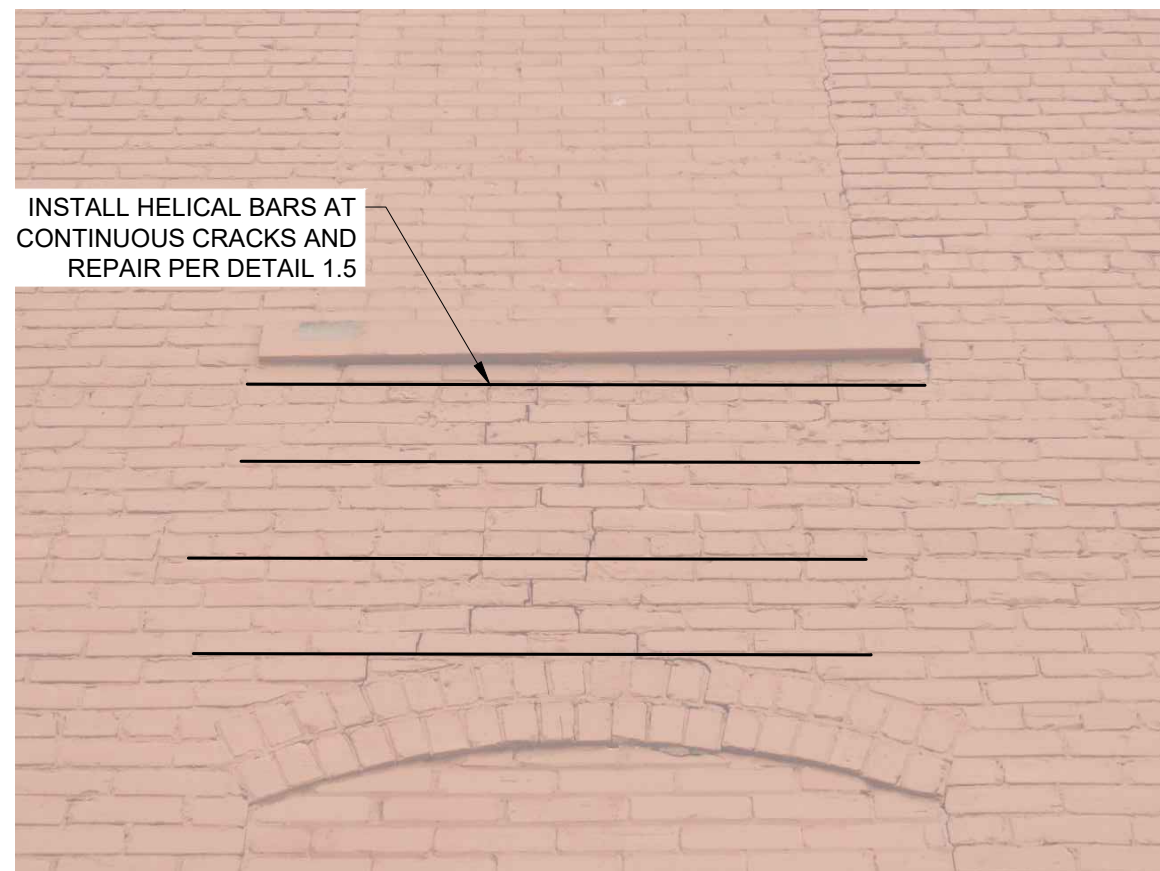
1.2 Item 9A - Arch Reconstruction

N.T.S.



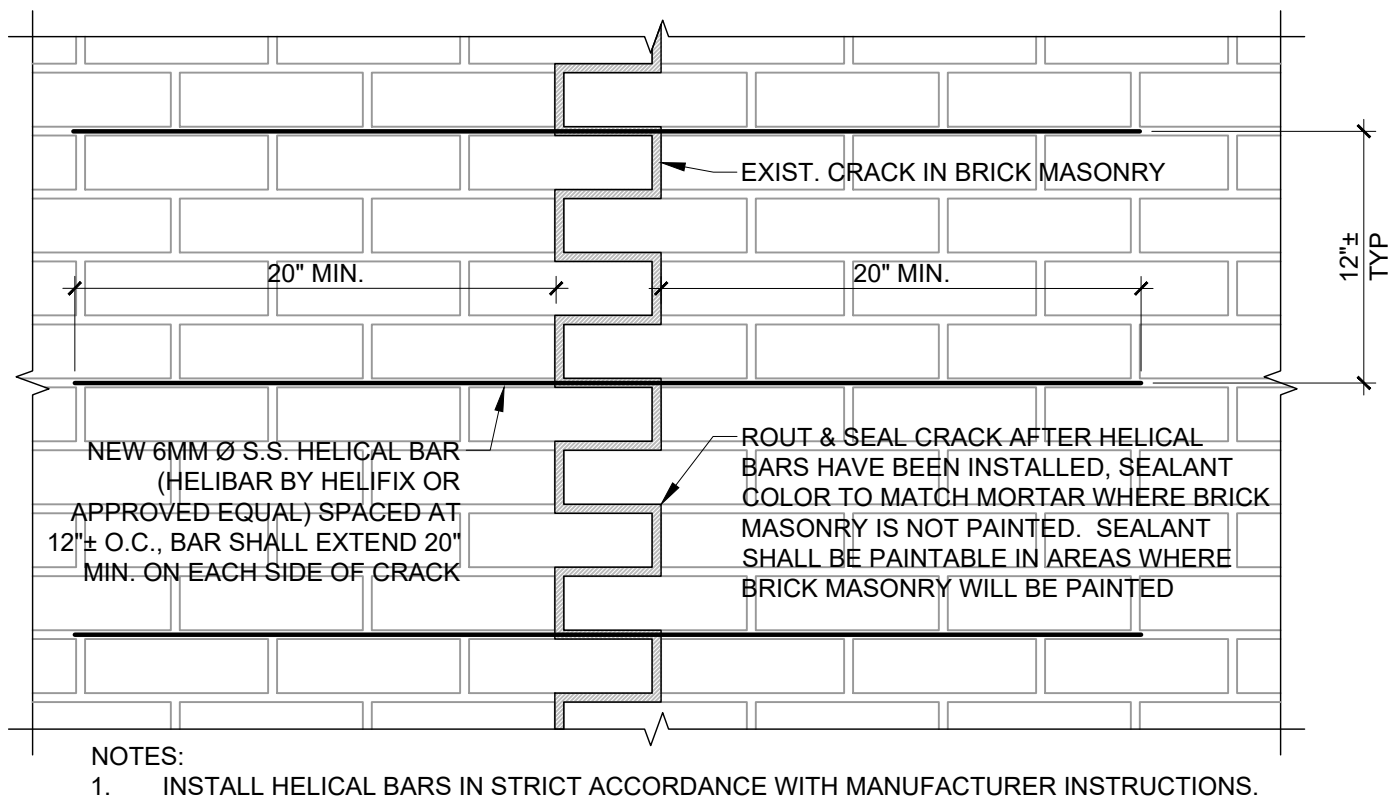
1.3 Masonry Crack Stitching Repair, Typ.

N.T.S.



1.4 Masonry Crack Stitching Repair, Typ.

N.T.S.

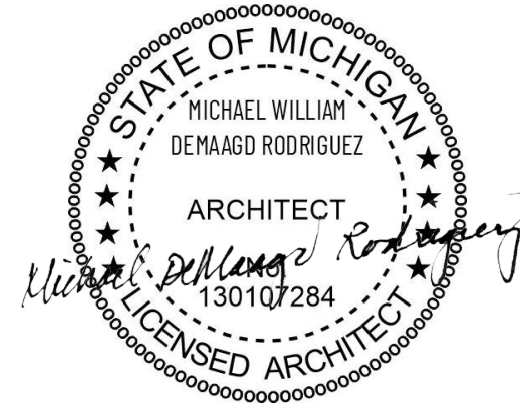


1.5 Masonry Crack Stitching Repair

NTS



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Designed by: MDR

Project # 2025-1332

SHEET NAME

Repair Details:
Misc. Masonry

SHEET NO.

R2.8

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